



COUNTY OF IMPERIAL

DEPARTMENT OF PUBLIC WORKS

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COUNTY OF IMPERIAL PUBLIC WORKS

155 S. 11th Street
El Centro, CA 92243

Seeley Fire Station and Cooling Center

County Project No. SR49337

ADDENDUM NO. 2

NOVEMBER 29, 2022

This *ADDENDUM* is hereby made part of the Contract Documents and specifications to the same extent as if originally included therein, and shall be signed by the Respondent and included with the proposal.

The modifications directed by this Addendum No. 2 are described in this page and the following attachments:

- Item 1: Revised Project Description**
Attached Project Description shall replace project description previously provided and shall be considered as if originally included in Project Manual.
- Item 2: Revised Civil Title Sheet**
Attached Civil Title Sheet shall replace Civil Title Sheet previously provided and shall be considered as if originally included in Project Manual.
- Item 3: Revised Title Sheet General Note 23 regarding survey monuments.**
Attached Title Sheet General Note 23 shall replace the Title Sheet General Note 23 previously provided and shall be considered as if originally included in Project Manual.
- Item 4: Waste Management Plan, application form and requirements.**
Attached Waste Management Plan and application form shall be considered as if originally included in Project Manual. The contractor shall prepare a Waste Management (WMP) for construction and demolition debris per the requirements of the application form. The WMP and application form shall be prepared and submitted by the Contractor to the Imperial County Planning and Development Services Department (ICPDS) – Building Division within 10 days of the issuance of the Notice to Proceed. The WMP and application form are to be reviewed by the Construction Manager prior to submission of the WMP and application form to the ICPDS – Building Division. The Contractor shall not commence physical construction items at the site until the WMP is approved by the ICPDS – Building Division. The Contractor shall include all costs for the preparation of the WMP and application form and the costs associated with recycling, reuse and disposal of construction and demolition debris resultant from the Seeley Fire Station and Cooling Center Project in the project bid cost.

Item 5: SAM.gov Requirements

The SAM.gov requirements included in the Advertisement for Bids and instruction to Bidders Article 3.02 are hereby deleted and replaced with the following:

SAM.gov registration requirements for Prime Contractor (respondent) and Subcontractors are required for this project. If Prime Contractor's full Entity Registration is not complete/active by the deadline for bid submittals, Prime Contractor may submit proof of Entity Registration at the time of bid submittal, e.g. screenshot, registration completion receipt; however, by the time of Award of Contract, respondent must have a complete and active full Entity Registration and pass the Debarment search. All participating Sub-contractors must have at least a UEI without the full Entity Registration.

In addition, Bid Form Item 11, Tabulation of Subcontractors, includes a blank area to write each Sub-Contractor's SAM.gov number on the Item 11 Bid Form. The Contractor shall not be required to place the SAM.gov number of the Sub-Contractor's on the Item 11 Bid Form.

Item 6: Generator Substitution

The substitution request forwarded by Five Star Electric dated 11/7/2022 requesting the Caterpillar Diesel Engine Driven Generator Set and Eaton Automatic Transfer Switch per the Caterpillar Quotation Number SM22_31130981_1 dated 11/3/2022 has been reviewed and it has been determined that the Caterpillar Diesel Engine Generator Set and Eaton Automatic Transfer Switch are considered as "or equal" units and approved for this projects subject to submittal review and approval."

Item 7: Building and Monument Sign Lettering

The lettering for the Monument Sign as illustrated on plan sheet C1.13 and Building Signs as illustrated on plan sheet A5.00 and called out by keynotes 522 & 524 shall be mounted per the attached drawing with concealed electrical circuitry. The Monument Sign Detail on plan sheet C1.13 shall be modified to require 6-inch-high bronze letters with "Warm White" LED lighting. The Building Sign letters shall be 10 inch-high bronze letters with "Warm White" LED lighting.

Item 8: Revised Bid Set Plan Sheets

The Bid Set Plan Sheet Numbers: *A.00, A3.00, A3.30, A4.00, A7.00, A7.20 and A9.20* are hereby deleted and replaced with the revised attached plan sheet numbers *A.00, A3.00, A3.30, A4.00, A7.00, A7.20 and A9.20*

Question 1: **With this new construction, you need any low voltage work done? Phones or phone system, networking, (for computers) or any cameras put up?**

Response: The County of Imperial Information and Technical System is coordinating the installation of the phone systems, networking, and security cameras. It is not part of the Contractor's Scope of Work.

Question 2: **There is no plumbing pipe material schedule found in plans.**

Response: Please refer to Technical Specification Sections: 221116, 221316, and 231123 for full piping specifications and schedules.

Question 3: **Provide Table of Contents for the Technical Specifications**

Response: Please refer to Table of Contents Sections: 000110-1, 000110-2, 000110-3, and 000110-4 for the Technical Specifications Table of Contents.

Question 4: **Do you want communication conduits stubbed up in the ceiling or should we pipe them all into the communication room?**

Response: Conduits are to be stubbed up in the ceiling area and routed to the ceiling area above the communication room.

Question 5: **Do you want all security door conduits piped up into the ceiling or should we pipe them all into the communication room?**

Response: Conduits are to be stubbed up in the ceiling area and routed to the ceiling area above the communication room in accessible locations.

Question 6: **Section 263213 2.2 D requires that the generator be a Tier 4 Generator. Isn't this generator being used as a stand by generator and not as a continued use generator? Please confirm that the generator needs to be Tier 4 (Continued use) and not Tier 3 (Standby). We have verified with manufacture like Section 263213 2.4 indicates and they confirmed that Tier 3 should suffice.**

Response: A Tier 3 generator shall be required for this project.

Question 7: **Metal building drawings can take about 1-2 months to generate, 1 -2 month the get them approved by the county building department and to get the actual metal building at the jobsite can take anywhere from 3-6 months. This is a potential issue that might affect the given tentative schedule provided at the pre-bid meeting. Will the general contractor be allowed to submit a change order and request for extension to the current tentative construction schedule?**

Response: The tentative construction schedule distributed at the pre-bid meeting dated 9/29/2022 is not a contract document as listed in Contract Document Article 9.01 on page 00521-5 of the Contract Documents. The time limits established in the above question are speculative. The project will be required to be completed in the construction period of 280 calendar days included in Agreement Article 4.02 on page 00521-2 of the contract documents in order for the CDBG Grant funding for this project not to be jeopardized.

The Contractor shall be allowed to submit a change order to request additional time beyond the 280 Calendar days noted above, however, the County of Imperial may reject or deny the change order submitted by the Contractor.

Question 8: Once the metal building shop drawing are finalized there a chance that the proposed foundation plan (footings) might change due to the metal building reaction provided by the manufacture. Who will be responsible to provide updated foundation drawings?

Response: Updated foundation drawings may affect the other building plans. The design architect/engineer shall modify the foundation drawings and other building drawings, if required. The Contractor shall provide the additional design fee to accomplish the building drawing modifications through a negative change order.

Question 9: Door 113 for unisex RR is shown as overhead door, please clarify.

Response: Door was incorrectly labeled. Please see revised sheet A9.20 for updated information. Door is to be type 1A – Hollow Metal.

Question 10: Interior doors finish are shown as “PL-1”, please provide more information as the plans do not specify what is this finish nor the spec book.

Response: Please see sheet A9.00 under “Finish Materials Schedule – Interior”, ID type “PL-1” for further details about plastic laminate 1.

Question 11: Door hardware Schedule call for Card readers at exterior doors, do you have the spec for it? Are they wired or battery, who’s responsible to provide floor plan for this service? Need to know in order to prep the door for card reader wire, if applicable.

Response: County of Imperial I.T.S. Department will be supplying this information during the construction period.

Question 12: **Spec Book Manual and lock set legend does not provide model numbers for each lock set, will you be providing specific model numbers for this hardware?**

Response: Spec Book Manual and lock set legend does not provide model numbers for each lock set, will you be providing specific model numbers for this hardware?

Question 13: **Spec Book and door and hardware plan does not provide model numbers for the following – Panic devices, thresholds, trim, door sweep, door stop. Will you be providing specific models?**

Response: Please see attached hereby revised Plan Sheet A9.20 for added basis of design hardware information. Door hardware is to be submitted, reviewed, and approved by the architect as a submittal document.

Question 14: **Since the GC will be responsible to submit for the encroachment permit, who will be responsible to provide updated plans if the county requires extra plans or redline current bidding set?**

Response: The GC will be obtaining the Grading/Encroachment Permit for onsite and offsite services and the Building Permit per Special Condition Section 4, Permits. The County of Imperial Public Works Department reviewed and approved the Civil improvement plans and the Imperial County Director of Public Works signed the Improvement Plan “Approval for Construction” Block on 9/30/2022. See Addendum Number 1 containing the signed Imperial County Director of Public Works “Approval for Construction” Block. The County of Imperial Planning and Development Services – Building Division plan checked, reviewed and approved the Civil, Architectural, Mechanical, Electrical, Plumbing and Structural Plans. The County of Imperial has approved the bid set plans. Extra plans, in addition to the bid set plans, or redline revisions to the bid set plans to obtain the Encroachment Permit will not be required.

Question 15: **GC will use current bidding set to issue the encroachment permit?**

Response: The County of Imperial will issue the encroachment permit to the CG based on the current bid set plans.

Question 16: **Who is responsible to provide and install all residential appliances? Plans mention the owner will provide them. Please specify if contractor shall install them?**

Response: The Washer and Dryer are to be provided by the Owner. The Owner of this project is the County of Imperial. The contractor shall install the

washer and the dryer. All other appliances for this project are to be provided and installed by the contractor.

Question 17: **Specification book calls for commercial washer and dryer but the plans do not show location. Please clarify.**

Response: See Keynote 10 on plan sheet M2.11 for the location of the County of Imperial furnished gas fired dryer. See Keynote 15 on plan sheet P2.11 for the location of the County of Imperial furnished washer.

Question 18: **What are these shown in a red circle? Please clarify.**



Response: Washer and Dryer are shown in red circles.

Question 19: **Please provide specifications on the small ceiling fans (missing from plans and spec book).**

Response: Ceiling fan specifications are listed out on plan sheet E3.00 – Luminaire Schedule, ID “CF”.

Question 20: **Please provide specification and construction details for the metal awning. Can the GC fabricate them or are they pre-fab from a specific manufacturer? Please clarify.**

Response: The metal awning is to be included in the metal building manufacturer’s scope of work. The building manufacturer is to be responsible for the metal awning structural integrity and warranty.

Question 21: **Please provide specification and construction details for firefighter equipment such as steel rack for Drying Fire Hose.**

Response: The steel rack for drying the fire hose is to be provided by the County of Imperial.

Question 22: **Sheet A3.10 Key Notes 347 calls to prove tall cabinets for storage, there are no specifications nor drawing details, please clarify. (In Cooling Center).**

Response: Keynote #347 on plan sheet A3.10 states, "Provide tall cabinet for storing tables and chairs – 80 inches tall by 24 inches deep by 144 inches long". Please prepare and forward all millwork shop drawings in conformance with Technical Specification Section 06 41 16 to the architect for review and approval.

Question 23: **Who is responsible to provide labor compliance, the General Contractor or County?**

Response: The County of Imperial will be providing labor compliance monitoring for this project.

Question 24: **Where shall we get water for the course of construction? It seems that there are no fire hydrant nearby, there is no water stub out inside of the property or a canal nearby?**

Response: Construction water can be obtained from the Seeley County Water District, 1898 West Main Street, Seeley, California 92273 – Phone Number (760) 352-6612; or any other water source available to the contractor. The contractor shall be responsible to pay all water fees and comply with all Seeley County Water District requirements regarding obtaining construction water from the Seeley County Water District.

Question 25: **Grading improvement plan sheet 5, keynote 14 specifies #4 @ 12" o.c. On Sections page 8 of grading plan shows to use welded wire mesh. Which do use for bid?**

Response: 6 inch x 6 inch – 6 gauge welded wire fabric is to be used. The last sentence of keynote number 14 on pages 4 and 5 is hereby deleted and replaced with the following sentence, "Place 6 inch x 6 inch – 6 gauge welded wire fabric 3 inches from the bottom of the pcc slab.

Question 26:

- A. The project title page section VII calls for fire alarm drawings as a deferred submittal.**
- B. Please advise if pathways for fire alarm to be included in electrical price or excluded pend FA system submittal and approval.**
- C. If pathways are to be included please provide minimum requirements to be provided or if unit prices are required.**

Response: The pathways for the fire alarm are to be excluded from the bid pending an approved Fire Alarm system submittal. The contractor shall be compensated for the fire alarm pathways by change order.

Question 27: **General note “M” on drawing E0.00 states, “Contractor to furnish and install Electrical Vehicle Charging Station (EVCS) equipment.” However, drawings C1.06 and E1.00 show only junction boxes for EVCS, and equipment is labeled “Future”. Please advise if EVCS equipment is to be included in electrical price or if it is NIC.**

Response: The second and third sentences of General Note M on plan sheet E0.00 states, “Contractor to furnish and install EVCS equipment. Specifications for EVCS to be prepared with deferred submittals by contractor.”

The second and third sentences of Electrical Note M are hereby deleted and replaced with the following sentences, “The contractor shall not prepare deferred submittals or purchase and install Electrical Vehicle Charging Stations (EVCS) for this project. The Contractor shall install two (2) 40 amp – 2 pole breakers in Panel “A” as illustrated on plan sheet E3.00 for future EVCS. The Contractor shall also install two (2) separate conduits from Panel “A” to the location of the Junction Boxes near the location of the two (2) future EVCS as illustrated on plan sheets E1.00 and C1.04. The conduits shall be extended from the electrical junction boxes to the location of the future EVCS as illustrated on plan sheet C1.04. See Construction Keynotes 30 and 31 on plan sheet C1.04. Electrical conductors shall not extend from Panel A to the junction boxes as a part of this project.

Question 28: **Please provide specs on the overhead doors operator and motors, are they low voltage? Auto opening door controls?**

Response: Please refer to specifications book, Division 08 – Openings for overhead coiling door specs. Refer to E2.11 and E3.00.

Question 29: **Low voltage wiring and cable tray for phone data shows stub up to attic space for jack or shall we locate it in the IT room?**

Response: Stub up to attic space for jack shall be required.

Question 30: **Plans refers to low voltage sheet, please provide this sheet.**

Response: The low voltage sheet is to be prepared by the Imperial County I.T. Department during the construction period. Low voltage installation is to be completed by others.

Question 31: **What is the requirement for “Solar Ready” zone as shown on the roof?**

Response: The 2019 California Energy Code (CEC) Section 110.10(b) 1B for Solar Ready Buildings applies to this project. The CEC Solar Ready Provisions do not require the installation of solar facilities for this project. Solar facilities would include solar panels, conduit and conductors, solar inverters, disconnects, meters, etc. The CED Solar Ready Provisions do require that a Solar Ready Zone be established according to the requirements of CEC Section 110.10(b) 1B; that a pathway for the electrical conduit and conductors be established from the Solar Ready Zone to the inverters, disconnects and metering equipment and that a location for the future installation of the solar inverters, disconnects and metering equipment be established.

Plan sheets A1.00 and E1.00 illustrate the location of the Solar Zone for the future installation of solar panels. Plan sheet E1.00 illustrates the future conduit routing from the Solar Ready Zone to the future solar electrical inverters, disconnects and meters. Plan sheets E1.00 and E2.11 illustrate the future location for solar inverters, disconnects and meters.

A CEC “Solar Ready Areas” certificate of compliance was prepared by the electrical design engineer during the preparation of the improvement plans. The certificate of compliance was approved by the County of Imperial Planning and Development Services Department – Building Division during the plan check process. A signed copy of the certificate of compliance shall be included with the building permit documents and will be in the possession of the enforcement agency during building inspections.

It should be noted that in accordance with CEC Section 110.10(b) 1B, the deferred submittal metal building structural calculations shall include the roof loads attributable to the future solar panels. The deferred submittal metal building structural members shall be designed to sustain the future solar panel loads in accordance with the deferred metal building structural calculations.

Question 32: **Please clarify the number of fiber optic cables that exist on the north side of Evan Hewes across the face of the property.**

Response: Please review Special Conditions Section 8, “AT & T Fiber Optic Cables and Direct Buried Cables along Evan Hewes Highway”.

Question 33: **Please verify the existence of an old concrete road under the existing centerline of Evan Hewes HWY.**

Response: A brief research as to whether a prior concrete road exists beneath the existing A.C. paved Evan Hewes Highway between Mount Signal Avenue and New River Boulevard was conducted. It could not be determined whether a prior concrete road exists, or does not exist, beneath the existing A.C. paved section of Evan Hewes Highway. For the purposes of bidding this project it shall be assumed that a prior concrete road does not exist beneath the existing A.C. paved Evan Hewes Highway between Mount Signal Avenue and New River Boulevard.

Question 34: Can Sherwin Williams Dura Plate 6100 manhole lining material be considered as an equal to Raven 405 for this project?

Response: Yes, Sherwin Williams Dura Plate 6100 manhole lining material can be considered as an equal to Raven 405 for this project.

Question 35: Will the spoils generated during improvement installation be required to be removed from the site?

Response: One's definition of spoil is required to answer this question. It is assumed that the term spoil is used for soil, dirt and rubble that results from an excavation and is to be discarded by some method. Assuming this is the definition, then spoil consisting of soil or dirt free of rocks and debris and including class 2 base or granular sand can be placed and compacted in lifts in the area "not to be developed" per the requirements of the plans, special conditions and technical specifications. Spoil consisting of concrete rubble, brush, trash, construction debris, discarded pipe material and similar material will be required to be removed and disposed of from the project site by the contractor, at the contractor's expense, in accordance with the waste management plan requirements per Addendum Numbers 1 and 4.

Question 36: The water plan is asking for flanged fittings with bolted adapters these fittings are expensive labor intensive and unnecessary can mechanical joint by flange fittings be used in lieu of flanged. With all joints being restrained?

Response: The plans illustrate both mechanical joint and flanged fittings. Flanged fittings are being "called out" on the plans where the fittings connect to a flanged valve or a flanged blind flange or similar condition. The fittings "called out" by the plans shall be required for this project.

Question 37: Can you identify by name and or product number a except able filter fabric for the storm drain rip rap?

Response: Rock slope protection (RSP) fabric type "8" shall be required to be supplied and installed per 2018 Caltrans Standard Specifications Section

96-1.021. Caltrans 2018 Standard Specification Section 96-1.021 is attached to this RFI response. Mirifi or Tensar are two (2) different manufacturers which may supply the RSP specified fabric.

Question 38: **Please provide plumbing material schedule for this project for waste/sewer. Plans do not specify.**

Response: Please refer to specification Section 221316 for full piping specifications and schedules. Specifically, subsection 3.1 for which types of pipes are allowed for each application.

Question 39: **Verify exterior metal wall panel. Specs and drawings do not match.**

Response: Exterior metal wall panel is called out to be Custom Panel Systems on plan sheet A9.00 under ID “MP-2 & MP-3” and called out in spec book under Division 13 34 19 – 2.06.

Question 40: **Provide correct structural details for seismic strut and hangers to be used with specified roof insulation system**

Response: Please refer to revised plan sheet A4.00 within Addendum No. 7, for added detail #02 that illustrates ceiling bracing notes. Struts to be connected to metal building purlins above.

Question 41: **Provide spec for fire rated coating at metal building structure**

Response: Please refer to revised plan sheets A0.00 and A3.00 within Addendum No. 7, in which it is illustrated the building type to be IIB instead of IIA. This building type change to IIB removes the requirement for fire rated structure. Fire rated coating is no longer applicable and will not be required for this project.

Question 42: **Provide Pre-engineered Metal Building (PEMB) drawings as referenced.**

Response: Per Code Analysis on revised plan sheet A0.00, under Section VII. Deferred Submittals: “-Pre-engineered metal building (including roof materials, roof drainage calculations, load reactions and locations, PEMB structural plans and calculations)” will be a deferred submittal to be prepared by the Contractor. The deferred PEMB submittal and accompanying documents shall be submitted to the County of Imperial Planning and Development Services Department – Building Division and the Project Architect for review and approval.

Question 43: **PEMB does not work as drawn. Can you we adjust columns locations as needed?**

Response: Per Item number 4, the PEMB submittal documents are to be submitted to the County of Imperial Planning and Development Services Department – Building Division and the Project Architect for review and approval. There is sufficient flexibility in the design of this building to accommodate minor dimensional adjustments that may be the result of a particular PEMB manufacturer. Such dimensional variances shall be considered during the review of submittal documents. The final determination of acceptability will rest with the County of Imperial and the Project Architect.

Question 44: **Standard PEMB column depths will not fit in walls as drawn.**

Response: Per Item number 4, the PEMB submittal documents are to be submitted to the County of Imperial Planning and Development Services Department – Building Division and the Project Architect for review and approval. There is sufficient flexibility in the design of this building to accommodate minor dimensional adjustments that may be the result of a particular PEMB manufacturer. Such dimensional variances shall be considered during the review of submittal documents. The final determination of acceptability will rest with the County of Imperial and the Project Architect.

Question 45: **Provide bracing locations for PEMB**

Response: Contractor to coordinate bracing locations between building manufacturer and design drawings. Per Item number 4, the PEMB submittal documents are to be submitted to the County of Imperial Planning and Development Services Department – Building Division and the Project Architect for review and approval. There is sufficient flexibility in the design of this building to accommodate minor dimensional adjustments that may be the result of a particular PEMB manufacturer. Such dimensional variances shall be considered during the review of submittal documents. The final determination of acceptability will rest with the County of Imperial and the Project Architect.

Question 46: **PEMB design may cause clearance issues with doors and windows. Will adjustments to building heights be allowed to achieve necessary clearance?**

Response: Bidder to coordinate door/window locations and clearances with building manufacturer and design drawings to meet compliance with all applicable codes. Per Item number 4, the PEMB submittal documents are

to be submitted to the County of Imperial Planning and Development Services Department – Building Division and the Project Architect for review and approval. There is sufficient flexibility in the design of this building to accommodate minor dimensional adjustments that may be the result of a particular PEMB manufacturer. Such dimensional variances shall be considered during the review of submittal documents. The final determination of acceptability will rest with the County of Imperial and the Project Architect.

Question 47: **Can we use Insulated metal panels with the correct R-Value in Lieu of specified insulation and metal panel systems.**

Response: The metal wall panel required by the specifications and drawings is to be provided.

Question 48: **Utility plan shows an FDC at the backflow and floor plan shows an FDC at the building, are both required?**

Response: Yes, both FDC's are required.

Question 49: **Sheet A3.30 shows PLAM at the restroom countertops and sheet A7.00 shows stainless steel. Which one is it?**

Response: Both are incorrect. Please refer to revised plan sheets A3.30 and A7.00 within Addendum No. 7, in which requires the countertops in the restrooms to be QTZ-1 and countertops in Kitchen to be SS-1. Please refer to finish schedule on plan sheet A9.00 for further details.

Question 50: **What is the interior finish of the apparatus room? What is that we are painting with PTD-1?**

Response: Painted gypsum board finish on east wall in the Apparatus room. The north, south and west walls are to have metal liner panel (LP-1) to roof per keynote #345 on A3.10.

Question 51: **Please provide specification of what LP-1 is.**

Response: LP-1 refers to liner panel. This is to be included in metal building manufacturer's submittal documents. Color samples are to be forwarded with the submittals for selection by the County of Imperial.

Question 52: **Due to current long lead times on certain materials, will be able to submit a request for time extensions?**

Response: The project will be required to be completed in the construction period of 280 calendar days included in Agreement Article 4.02 on page 00521-2

of the contract documents in order for the CDBG Grant funding for this project not to be jeopardized. Per the Schedule of Events dated 9/29/2022 distributed at the Pre-Bid Conference on 10/18/2022 it is anticipated that the construction start date will be on December 12th, 2022 and the 280 calendar construction period will end on September 26th, 2022. The grant funding project completion deadline will require the construction project be completed by September 26th, 2022.

The Contractor shall be allowed to submit a change order to request additional time beyond the 280 Calendar days noted above. The County of Imperial will review the Change Order request for additional time; however, the County of Imperial may reject or deny the change order submitted by the Contractor.

Question 53: Who is responsible to provide the SWPPP report and inspections?

Response: A SWPPP was prepared during the project design phase and is included in Special Condition Section 17. The contractor is responsible to implement the provisions of the SWPPP. The contractor shall provide a Qualified SWPPP Practitioner (QSP), at the expense of the contractor, for site inspection, reporting services and other services. Review Special Conditions Section 17 for a more detailed explanation of the Contractor's SWPPP related responsibilities.

Attached:

1. A revised Project Description.
2. Revised Civil Title Sheet.
3. Revised Title Sheet General Note 23 regarding survey monuments.
4. Waste Management Plan & attached application form.
5. Revised Plan Sheet Numbers A.00, A3.00, A3.30, A4.00, A7.00, A7.20 and A9.20
6. Generator Substitution
7. Lettering specifications

The Consultant is responsible for advising any and all subconsultants of this change. Each Respondent must acknowledge receipt of this addendum in the noted space below and must be attached to the proposal.



John Gay, PE
Director of Public Works

Acknowledgement of Addendum No. 2
County Project No. SR49337 – Seeley Fire Station and Cooling Center

License No: _____

Print or Type Company Name: _____

Print or Type Authorized Name: _____

Authorized Signature of Consultant: _____

Date Signed: _____

**COUNTY OF IMPERIAL
SEELEY FIRE STATION AND COOLING CENTER**

THG Project No. 542.088

October 5, 2022

ADDENDUM NO. 1

1. PROJECT DESCRIPTION

The Project Description on Civil Improvement Plan Sheet 1 (C1.01) and Technical Specification 00 11 50 is hereby deleted and replaced with the Project Description as follows:

The Seeley Fire Station and Cooling Center Project Site is in the unincorporated community of Seeley in Imperial County. Seeley is located 7.5 miles west of El Centro, California and is located near a Naval Air Facility (NAF El Centro). Seeley's 2010 population was 1,023. Seeley is primarily accessed from Drew Road which meets Interstate 15. Seeley is located approximately 1 1/2 miles north of Interstate 15.

The County of Imperial has been awarded funds by the California Department of Housing and Community Development through its Community Development Block Grant (CDBG) Program for the Seeley Fire Station and Cooling Center Project under Grant 15-CDBG-1292. Per the conditions of the Grant, the Project is to be constructed and occupied by September 2023. In addition, CDBG is requiring that the subcontractors and subcontractors participating in this Project have and maintain a SAM.gov registration. See the Advertisement for Bids and Instruction for Bidders sections of the Contract Documents (Project Manual Volume 1 of 2).

The Seeley Fire Station and Cooling Center is a one story 17,735 square foot pre-engineered metal building with stucco exterior panels. The Seeley Fire Station is comprised of an Apparatus Bay to accommodate two (2) fire trucks, a fire station with offices, lockers, washroom, restrooms, living quarters and server room and a Cooling Center. The 150 square foot Cooling Center shall be available to the public as a refuge for persons to access a cool space during the hot summer months. The Cooling Center Occupancy Capacity is 56 persons. The Project will include an emergency power generator set to provide the facility emergency power in the event the normal power source fails.

The site improvements will include a 100' driveway entrance, asphalt concrete parking lots with a total of 23 parking spaces, which includes two (2) handicapped parking spaces, and an asphalt concrete fire truck access roadway. The 100' driveway entrance, asphalt concrete parking lots and asphalt concrete fire truck access roadway shall be provided with lighting. There will be three (3) native earth retention basins to accept the stormwater generated by the Project site. The Project site improvements also include a trash enclosure and Project entrance sign.

The County of Imperial is the owner of the Seeley Fire Station and Cooling Center Project Site. The 2.07 acre Project site is located along the north side of Evan Lewis Highway between Mount Signal Avenue and New River Boulevard. The existing Project site is undeveloped and consists of native earth. It will be necessary to clear the entire site of brush and debris prior to commencing earthwork activities at the Project site. The east portion of the Project site (measuring approximately 231.20 feet by 270 feet or 63,255 square feet or - or 1.15 Acres)

or -) is to be developed for the construction of the Seeley Fire Station and Cooling Center Facility. The west portion of the project site (measuring approximately 190.35 feet x 233.15 feet x 33,300 square feet or - or 1.02 Acres or -) will not be developed however, it is to be cleared and used as a borrow area or area to accept native earth from the developed project site. A portion of the undeveloped area is to be used as a staging area, contractor parking area and area to locate the construction project trailer. At the conclusion of the project the undeveloped site is to be cleared of construction related material and items. The existing native earth surface is to be leveled to an elevation across the undeveloped site within 0.10 feet. The undeveloped site native surface is to be compacted to 95 percent of maximum density per ASTM D1557 and bladed smooth.

The existing native earth developed area is approximately 2 feet below the A.C. pavement centerline of Evan Lewis Highway. The finished floor of the new Seeley Fire Station and Cooling Center is to be located approximately 1 foot higher than the centerline pavement of Evan Lewis Highway.

The geotechnical Report for this project prepared by Sierra Material Testing and Inspections (Project No. EC957 dated July 7, 2022) notes that the upper 3 feet of the existing native soil consists of relatively loose fill and recommends this loose material be recompact. A copy of the geotechnical Report is contained in Special Conditions Section 13 (Project Manual 2 of 4).

The Earthwork Technical Specifications requires the upper 3 feet of the entire developed area existing native surface be moisture conditioned and compacted in lifts as detailed within the specifications. The existing upper 3 feet of native material will notice a 100% shrinkage percentage when compacted per the specifications. The undeveloped site can be used as a borrow area to obtain additional native material to compensate for the native earth's shrinkage. Native earth obtained from the undeveloped site shall be obtained in even 1 foot lifts across the entire undeveloped area project site. The final native earth surface is to be brought to an elevation of 95.00 across the entire project site development area. Granular sand or class 2 base material is to be imported and compacted as required by the Earthwork Technical Specification Section 31 23 00 (Project Manual 4 of 4) beneath the CCC building slab and foundation, CCC infrastructure and asphalt cement pavement infrastructure.

A Stormwater Pollution Prevention Plan (SWPPP) was prepared during the project design period as required by the National Pollution Discharge Elimination System (NPDES) General Permit for construction activities. The SWPPP is included in Special Conditions Section 17 (Project Manual 2 of 4). The contractor is responsible to implement the provisions of the SWPPP including the erosion control plans and best management practices (BMP's). The erosion control plans are included with the improvement plans. The contractor shall engage a qualified SWPPP practitioner (QSP) for site inspection and reporting services. The QSP shall assist the County of Imperial (Owner) in obtaining a Waste Discharge Identification Number (WDID) and Notice of Intent (NOI). The QSP shall assist the County of Imperial in filing daily, quarterly, and annual reports, filing the Notice of Termination (NOT) at the project conclusion and all other required SWPPP documents through the Storm Water Multi Application and Report Tracking System (SMARTS). The County of Imperial shall pay for all SWPPP and SMARTS filing fees. The contractor shall pay for services of the QSP throughout the project duration.

The retention basins at the project have no outlets. Standing water will likely remain in the retention basins 72 hours after most stormwater events and therefore it was necessary for the Design Engineer to prepare a Mosquito Abatement Plan for the Seeley Fire Station and Cooling Center project. The contractor is not responsible to implement the Mosquito

Abatement plan requirements. The County of Imperial is responsible to implement the Mosquito Abatement plan requirements as required by the County of Imperial Air Pollution Control District. The County of Imperial Public Works Department, County of Imperial Work Force and Economic Development Agency and County of Imperial Fire Department were forwarded electronic copies of the Mosquito Abatement plan dated July 27, 2022 during the project design period. Hard copies of the Mosquito Abatement plan will be forwarded to the County of Imperial Department responsible for the implementation of the Mosquito Abatement plan after the project is fully constructed.

The Seeley Fire Station and Cooling Center project will require electrical, gas, potable water and sanitary sewer services. Applications for the utility services were submitted to the utility agencies during the design period.

A Customer Service Proposal (CSP) was submitted to the Imperial Irrigation District (IID) Energy Department by the County of Imperial during the project design phase. The IID Energy Department completed Electrical Design Documents for providing primary and secondary electrical power to the project. The IID Energy Department personnel will install a portion of the project primary and secondary electrical facilities during the project construction period. The contractor shall complete the installation of a portion of the primary and secondary electrical facilities as required by the approved IID CSP "Contractor Notes" dated September 6, 2022. The IID CSP "Contractor Notes" are included in Special Conditions Section 5 (Project Manual 2.000). The County of Imperial will pay for the IID CSP Seeley Fire Station and Cooling Center fees. The IID CSP fees for the Seeley Fire Station and Cooling Center are not to be confused with the IID CSP for the construction trailer. Per Special Condition Section 6 (Project Manual 2.000), the contractor shall pay for the construction trailer IID CSP fee.

A Southern California Gas (SCG) "Request for non-residential gas service" was submitted by the County of Imperial for the Fire Station and Cooling Center gas service during the design phase. The County of Imperial shall pay for the SCG non-residential gas service cost and for SCG construction personnel costs to install the gas service pipeline. SCG personnel will install the new gas service pipeline from the existing gas pipeline along the east side of the project to the gas service point of connection (POC) near the southeast corner of the Seeley Fire Station and Cooling Center Building. The contractor shall be required to excavate and backfill the gas service pipeline trench from the existing gas pipeline to the point of connection/gas meter location at the southeast corner of the Seeley Fire Station and Cooling Center Building. See Special Condition Section 7 (Project Manual 2.000) regarding the SCG C gas service requirements.

Water and sanitary sewer services for this project shall be provided by the Seeley County Water District (SCWD). An 18" inc. water main pipeline extension and 18" inc. sanitary sewer main pipeline extension will be required to be constructed along Evan Lewis Highway from Mount Signal Drive to the project site to service the Seeley Fire Station and Cooling Center project. See Civil plan and profile plan sheet 10 (C2.01). The water main and sanitary sewer main will be constructed in Imperial County Right of Way. Portions of the sanitary sewer lateral, domestic water service extension, fire hydrant water pipeline extension and the fire sprinkler system water pipeline extension will be in County of Imperial - Evan Lewis Highway Right of Way. The Improvement plans were submitted to the County of Imperial Department of Public Works (ICPW) and SCWD for review during the project design for the construction on-site and off-site water and sanitary sewer facility improvements. The Improvement plans were reviewed and approved by ICPW and SCWD. The County of Imperial will pay for the SCWD water and sanitary sewer service fees (See Special Conditions Section 6 – Project Manual 2.000). The Contractor shall pay the ICPW for a grading and encroachment permit (See Special Conditions Section 8 – Project Manual 2.000). The contractor shall coordinate with the

Seeley County Water District representatives and Construction Manager during the construction period for the inspection and approval of the project water and sewer services in accordance with the Technical Specifications.

The new project driveway entrance improvements, stormwater deline improvement beneath the driveway entrance and native earth stormwater swale grading along the north and south sides of Evan Lewes Highway are partially or totally illustrated on Civil Plan Sheets 5 (C1.05), 6 (C1.06), 11 (C2.01) and 19 (C2.02). AT&T was contacted during the project design to review the locations of AT&T underground facilities and possible AT&T underground facility conflicts with the new driveway entrance, new stormwater deline, new water main deline and water service lines, new sanitary sewer lateral and native earth stormwater swale grading. AT&T researched the existing underground utilities along the Evan Lewes Highway Right of Way between Mount Signal Avenue and New River Boulevard. There are two existing AT&T direct buried copper cables and an existing fiber optic cable located along the north side of Evan Lewes Highway between Mount Signal Avenue and New River Boulevard. The exact location of the AT&T underground facilities is not known. There may be conflicts between the new improvements and existing AT&T underground facilities. It will be necessary for the contractor to locate the existing AT&T facilities within the County of Imperial Evan Lewes Highway Right of Way between Mount Signal Avenue and New River Boulevard within five (5) days from the issuance of the Notice to Proceed in conformance with Special Conditions Section 11 (Project Manual 2.000). If it is required to relocate the AT&T fiber optic cable and/or two (2) direct buried copper cables the County of Imperial will pay the cost for AT&T to relocate the AT&T fiber optic cable and/or two (2) direct buried copper cables.

Before construction will be allowed to commence at the project site a "Pre-Construction Survey" is to be completed as required by the NEPA/CEQA Environmental Documents prepared for this project. The County of Imperial Work Force and Economic Development will engage a biologist to prepare the "Pre-Construction Survey". The County of Imperial Work Force and Economic Development will pay for the "Pre-Construction Survey". The Contractor shall insure that no work is completed by the Contractor's personnel, Subcontractor's, Material Suppliers, or any other entity employed by the Contractor on this project prior to the completion of the "Pre-Construction Survey". The Construction Manager shall inform the Contractor when the "Pre-Construction Survey" is complete, and the Contractor can commence construction activities at the project site. See Special Conditions Section 16 (Project Manual 2.000) and Technical Specification Section 02 21 00 (Project Manual 3.000) regarding a more thorough explanation regarding the "Pre-Construction Survey".

The Improvement Plans for this project consisting of the Civil, Architectural, Mechanical, Electrical, Plumbing and Structural Plans were reviewed and approved by the County of Imperial Planning and Development Services Department – Building Division. A Building Permit will be issued to the Contractor upon payment of the Building Permit Fee. See Special Conditions Section 11 (Project Manual 2.000) regarding the Building Permit Fee.

The Contractor shall be responsible for the geotechnical testing and costs including but not limited to earthwork, asphalt concrete pavement and block concrete. See Special Conditions Section 11 (Project Manual 2.000) regarding geotechnical testing, asphalt testing and block concrete testing.

The Contractor shall be responsible for the survey work and construction staking for this project. The contractor shall pay for all costs related to the survey work and construction staking. See Technical Specification 02 21 00, Surveying, in Project Manual Volume 3.000.

2. Revised Title Sheet – Civil Improvement Plans – Sheet 1 of 23 – C1.01

A revised Title Sheet – Civil Improvement Plan Sheet 1 of 23 – C1.01 is included with this Addendum Number 1 document and shall replace the previously issued Title Sheet. An “Approval for Construction” block with the signature of the Imperial County Director of Public Works Director has been included on the revised Title Sheet. The revised Title Sheet is an attachment to this addendum.

3. General Note 23 on revised Title Sheet – Civil Improvement Plans – Sheet 1 of 23 – C1.01

General Note 23 on revised Civil Improvement Plans Title Sheet - Sheet 1 of 23 – C1.01 is hereby deleted and replaced with the following note

“The contractor shall be responsible for any survey monuments, corner accessories and/or benchmarks within the limits of work. In accordance with the Professional Land Surveyor’s Act (Chapter 15 of the California Business and Professions Code), such objects within the limits of work that may be disturbed or destroyed by construction shall be referenced by a person authorized to practice land surveying and a Corner Record (or Record of Survey) showing said references shall be filed with the County Surveyor prior to construction. Any monument, corner accessory, or benchmark that is disturbed or destroyed by construction shall be replaced with appropriate monumentation by a person authorized to practice land surveying and a corner record (or Record of Survey) shall be filed prior to project completion. Form MR-01 and Form MR-02 are required for all Imperial County Projects.”

4. Waste Management Plan (WMP) for Construction and Demolition Debris

The contractor shall prepare a Waste Management Plan (WMP) for Construction and Demolition Debris per the requirements of the application form which is an attachment to this addendum. The Waste Management Plan (WMP) and application form shall be prepared and submitted to the Imperial County Planning and Development Services Department (ICPDS) – Building Division within 10 days of the issuance of the Notice to Proceed. The WMP and application form are to be reviewed by the Construction Manager prior to submission of the WMP and application form to the ICPDS – Building Division. The Contractor shall not commence physical construction items at the site until the WMP is approved by ICPDS – Building Division. The Contractor shall include all costs for the preparation of the WMP and application form and the costs associated with recycling, reuse and disposal of construction and demolition debris resultant from the Seeley Fire Station and Cooling Center project.

Attachments

1. Revised Title Sheet – Civil Improvement Plan Sheet 1 of 23 – C1.01.
2. Waste Management Plan Permit Application Form.

END ADDENDUM NO. 1

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COUNTY OF IMPERIAL

SEELEY FIRE STATION AND COOLING CENTER

APN #051-241-019

1862 WEST EVAN HEWES HIGHWAY

SEELEY, CALIFORNIA



PROJECT DESCRIPTION

THE SEELEY FIRE STATION AND COOLING CENTER PROJECT IS IN THE UNINCORPORATED COMMUNITY OF SEELEY IN IMPERIAL COUNTY. SEELEY IS LOCATED 7.5 MILES WEST OF EL CENTRO, CALIFORNIA AND IS LOCATED NEAR A NAVAL AIR FACILITY (NAF EL CENTRO). SEELEY'S 2010 POPULATION WAS 1,823. SEELEY IS PRIMARILY ACCESSED FROM DREW ROAD WHICH EXITS INTERSTATE 8. SEELEY IS LOCATED APPROXIMATELY 1 1/2 MILES NORTH OF INTERSTATE 8.

THE COUNTY OF IMPERIAL HAS BEEN AWARDED FUNDS BY THE CALIFORNIA DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT THROUGH ITS COMMUNITY DEVELOPMENT BLOCK GRANT (CDBG) PROGRAM FOR THE SEELEY FIRE STATION AND COOLING CENTER PROJECT UNDER GRANT 18-CDBG-12624. PER THE CONDITIONS OF THE GRANT, THE PROJECT IS TO BE CONSTRUCTED AND OCCUPIED BY SEPTEMBER 2023.

THE SEELEY FIRE STATION AND COOLING CENTER IS A ONE STORY 4,736 SQUARE FOOT PRE-ENGINEERED METAL BUILDING WITH STATION AND COOLING CENTER. THE STATION IS COMPOSED OF AN APARTMENT TO ACCOMMODATE TWO (2) FIRE TRUCKS, A FIRE STATION WITH OFFICES, LOCKERS, WASHROOM, RESTROOMS, LIVING QUARTERS, AND SERVER ROOM. A COOLING CENTER WITH 800 SQUARE FOOT COOLING CENTER SHALL BE AVAILABLE TO THE PUBLIC AS A REFUGE FOR PERSONS TO ACCESS A COOL SPACE DURING THE HOT SUMMER MONTHS. THE COOLING CENTER OCCUPANCY CAN BE UP TO 60 PERSONS. THE PROJECT WILL INCLUDE AN EMERGENCY POWER GENERATOR SET TO PROVIDE THE FACILITY EMERGENCY POWER IN THE EVENT THE NORMAL POWER SOURCE FAILS.

THE SITE IMPROVEMENTS WILL INCLUDE A PCC DRIVEWAY ENTRANCE, ASPHALT CONCRETE PARKING LOTS WITH A TOTAL OF 23 PARKING SPACES AND TWO (2) HANDICAP PARKING SPACES AND AN ASPHALT CONCRETE FIRE TRUCK ACCESS ROADWAY. THE PCC DRIVEWAY ENTRANCE, ASPHALT CONCRETE PARKING LOTS AND ASPHALT CONCRETE FIRE TRUCK ACCESS ROADWAY SHALL BE PROVIDED WITH LIGHTING. THERE WILL BE THREE (3) INTERCONNECTED NATIVE EARTH RETENTION BASINS TO ACCEPT THE STORMWATER GENERATED BY THE PROJECT SITE. THE PROJECT SITE IMPROVEMENTS ALSO INCLUDE A TRAIL ENCLOSURE AND PROJECT ENTRANCE SIGN.

THE COUNTY OF IMPERIAL IS THE OWNER OF THE SEELEY FIRE STATION AND COOLING CENTER PROJECT SITE. THE 2.47 ACRE PROJECT SITE IS LOCATED ALONG THE NORTH SIDE OF EVAN HEWES HIGHWAY BETWEEN MOUNT SIGNAL AVENUE AND NEW EVER SOLID AVENUE. THE EXISTING PROJECT SITE IS UNDEVELOPED AND CONSISTS OF NATIVE EARTH. IT WILL BE NECESSARY TO CLEAR THE ENTIRE SITE OF BRUSH AND DEBRIS PRIOR TO COMMENCING EARTHWORK ACTIVITIES AT THE PROJECT SITE. THE EAST PORTION OF THE PROJECT SITE (MEASURING APPROXIMATELY 234.24 FEET X 270 FEET = 63,245 SQUARE FEET + OR - OR 1.46 ACRES + OR -) IS TO BE DEVELOPED FOR THE CONSTRUCTION OF THE SEELEY FIRE STATION AND COOLING CENTER FACILITY. THE WEST PORTION OF THE PROJECT SITE (MEASURING APPROXIMATELY 190.39 FEET X 215 FEET = 40,924 SQUARE FEET + OR - OR 0.93 ACRES) WILL NOT BE DEVELOPED. HOWEVER, IT IS TO BE CLEARED AND USED AS A BORROW AREA OR AREA TO ACCEPT NATIVE EARTH FROM THE DEVELOPED PORTION OF THE PROJECT SITE. THE UNDEVELOPED NATIVE EARTH OBTAINED FROM THE CONTRACTOR PARKING AREA AND AREA TO LOCATE THE CONSTRUCTION PROJECT TRAILER. AT THE CONCLUSION OF THE PROJECT THE UNDEVELOPED NATIVE EARTH SHALL BE RELOCATED TO THE UNDEVELOPED NATIVE EARTH SURFACE IS TO BE LEVELLED TO AN ELEVATION ACROSS THE UNDEVELOPED SITE WITHIN 0.10 FEET. THE UNDEVELOPED NATIVE EARTH SURFACE IS TO BE COMPACTED TO 85 PERCENT OF MAXIMUM DENSITY PER ASTM D1557 AND BLADED SMOOTH.

THE EXISTING NATIVE EARTH DEVELOPED AREA IS APPROXIMATELY 2 FEET BELOW THE A.C. PAVEMENT CENTERLINE OF EVAN HEWES HIGHWAY. THE FINISH FLOOR OF THE NEW SEELEY FIRE STATION AND COOLING CENTER IS TO BE LOCATED APPROXIMATELY 1.5 FEET HIGHER THAN THE CENTERLINE OF EVAN HEWES HIGHWAY. THE GEOTECHNICAL REPORT FOR THIS PROJECT PREPARED BY SIERRA MATERIAL TESTING AND INSPECTIONS, PROJECT NO. 20220718, DATED 10/20/22, SHOWS THE UPPER 3 FEET OF THE EXISTING NATIVE SOIL CONSISTS OF RELATIVELY LOOSE FILL AND RECOMMENDS THIS LOOSE MATERIAL BE REPACKED.

THE EARTHWORK TECHNICAL SPECIFICATIONS REQUIRES THE UPPER 3 FEET OF THE ENTIRE DEVELOPED AREA EXISTING NATIVE SURFACE BE MOISTURE CONDITIONED AND COMPACTED IN LIFTS AS DETAILED WITHIN THE EARTHWORK TECHNICAL SPECIFICATIONS. THE UNDEVELOPED NATIVE EARTH SHALL BE MOISTURE CONDITIONED AND COMPACTED PER THE SPECIFICATIONS. THE UNDEVELOPED SITE CAN BE USED AS A BORROW AREA TO OBTAIN NATIVE EARTH MATERIAL TO COMPENSATE FOR THE NATIVE EARTH REMOVED FROM THE DEVELOPED AREA. THE UNDEVELOPED SITE SHALL BE OBTAINED IN EVEN 1 FOOT LIFTS ACROSS THE ENTIRE UNDEVELOPED AREA. THE FINAL NATIVE EARTH SURFACE IS TO BE BROUGHT TO AN ELEVATION OF 988.00 ACROSS THE ENTIRE PROJECT SITE. GRANULAR SAND OR CLASS 2 BASE MATERIAL SHALL BE RELOCATED AND COMPACTED AS REQUIRED BY THE EARTHWORK TECHNICAL SPECIFICATIONS BENEATH THE PCC BUILDING SLAB AND FOUNDATION, PCC INFRASTRUCTURE AND ASPHALT PAVEMENT INFRASTRUCTURE.

A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) WAS PREPARED DURING THE PROJECT DESIGN PERIOD AS REQUIRED BY THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FOR CONSTRUCTION ACTIVITIES. THE SWPPP IS INCLUDED AS A CONTRACT DOCUMENT ITEM. THE CONTRACTOR IS RESPONSIBLE TO IMPLEMENT THE SWPPP. THE SWPPP IS SUBJECT TO THE SWPPP AND BEST MANAGEMENT PRACTICES (BMPs). THE EROSION CONTROL PLANS ARE INCLUDED WITH THE IMPROVEMENT PLANS. THE SWPPP SHALL ASSIST THE COUNTY OF IMPERIAL (OWNER) IN OBTAINING A WASTE DISCHARGE IDENTIFICATION NUMBER FROM THE COUNTY OF IMPERIAL. IN FILING DAILY QUARTERLY AND ANNUAL REPORTS. FILING THE NOTICE OF TERMINATION (NOT) AT THE PROJECT CONCLUSION AND ALL OTHER REQUIRED SWPPP DOCUMENTS THROUGH THE STORM WATER MULTI APPLICATION AND REPORT TRACKING SYSTEM. THE COUNTY OF IMPERIAL SHALL PAY FOR ALL SWPPP AND MARKS FILING FEES. THE CONTRACTOR SHALL PAY FOR SERVICES OF THE QSP THROUGHOUT THE PROJECT DURATION.

THE SEELEY FIRE STATION AND COOLING CENTER PROJECT WILL REQUIRE ELECTRICAL, GAS, POTABLE WATER AND SANITARY SEWER SERVICES. APPLICATIONS FOR THE UTILITY SERVICES WERE SUBMITTED TO THE UTILITY AGENCIES DURING THE DESIGN PERIOD.

A CUSTOMER SERVICE PROPOSAL (CSP) WAS SUBMITTED TO THE IMPERIAL IRRIGATION DISTRICT ENERGY DEPARTMENT BY THE COUNTY OF IMPERIAL DURING THE PROJECT DESIGN PHASE. THE IIR DISTRICT ENERGY DEPARTMENT HAS REVIEWED THE CSP AND HAS APPROVED THE CSP. THE CSP IS SUBJECT TO THE CSP AND BEST MANAGEMENT PRACTICES (BMPs). THE EROSION CONTROL PLANS ARE INCLUDED WITH THE IMPROVEMENT PLANS. THE CSP SHALL ASSIST THE COUNTY OF IMPERIAL (OWNER) IN OBTAINING A WASTE DISCHARGE IDENTIFICATION NUMBER FROM THE COUNTY OF IMPERIAL. IN FILING DAILY QUARTERLY AND ANNUAL REPORTS. FILING THE NOTICE OF TERMINATION (NOT) AT THE PROJECT CONCLUSION AND ALL OTHER REQUIRED SWPPP DOCUMENTS THROUGH THE STORM WATER MULTI APPLICATION AND REPORT TRACKING SYSTEM. THE COUNTY OF IMPERIAL SHALL PAY FOR ALL SWPPP AND MARKS FILING FEES. THE CONTRACTOR SHALL PAY FOR SERVICES OF THE QSP THROUGHOUT THE PROJECT DURATION.

A SOUTHERN CALIFORNIA GAS (SCG) APPLICATION WAS SUBMITTED FOR THE FIRE STATION AND COOLING CENTER GAS RELATED SERVICES DURING THE DESIGN PHASE. THE CONTRACTOR SHALL PAY FOR THE COSTS OF THE SCG SERVICE INSTALLATION. THE CONTRACTOR SHALL INSTALL A NEW GAS SERVICE FROM THE EXISTING GAS PIPELINE ALONG THE SOUTH SIDE OF EVAN HEWES HIGHWAY TO THE GAS SERVICE POINT OF CONNECTION (POC) NEAR THE SOUTHWEST CORNER OF THE SEELEY FIRE STATION AND COOLING CENTER BUILDING. THE BID FORMS HAVE INCLUDED A SGC FEE OF \$15,000 FOR THE CONSTRUCTION OF THE GAS SERVICE PIPELINE TO THE POC AND FOR THE PAYMENT.

IF ANY OTHER SGC FEES, IF THE ACTUAL SGC FEES ARE GREATER THAN \$15,000 A POSITIVE CHANGE ORDER WILL BE PROCESSED FOR THE COST OF THE SGC FEE IN EXCESS OF \$15,000. IF THE ACTUAL SGC FEES ARE LESS THAN \$15,000 A POSITIVE CHANGE ORDER WILL BE PROCESSED COMPENSATING THE COUNTY OF IMPERIAL FOR THE DIFFERENCE BETWEEN THE \$15,000 SGC SERVICE INSTALLATION AND RELATED FEE BID AMOUNT AND THE ACTUAL SGC FEE.

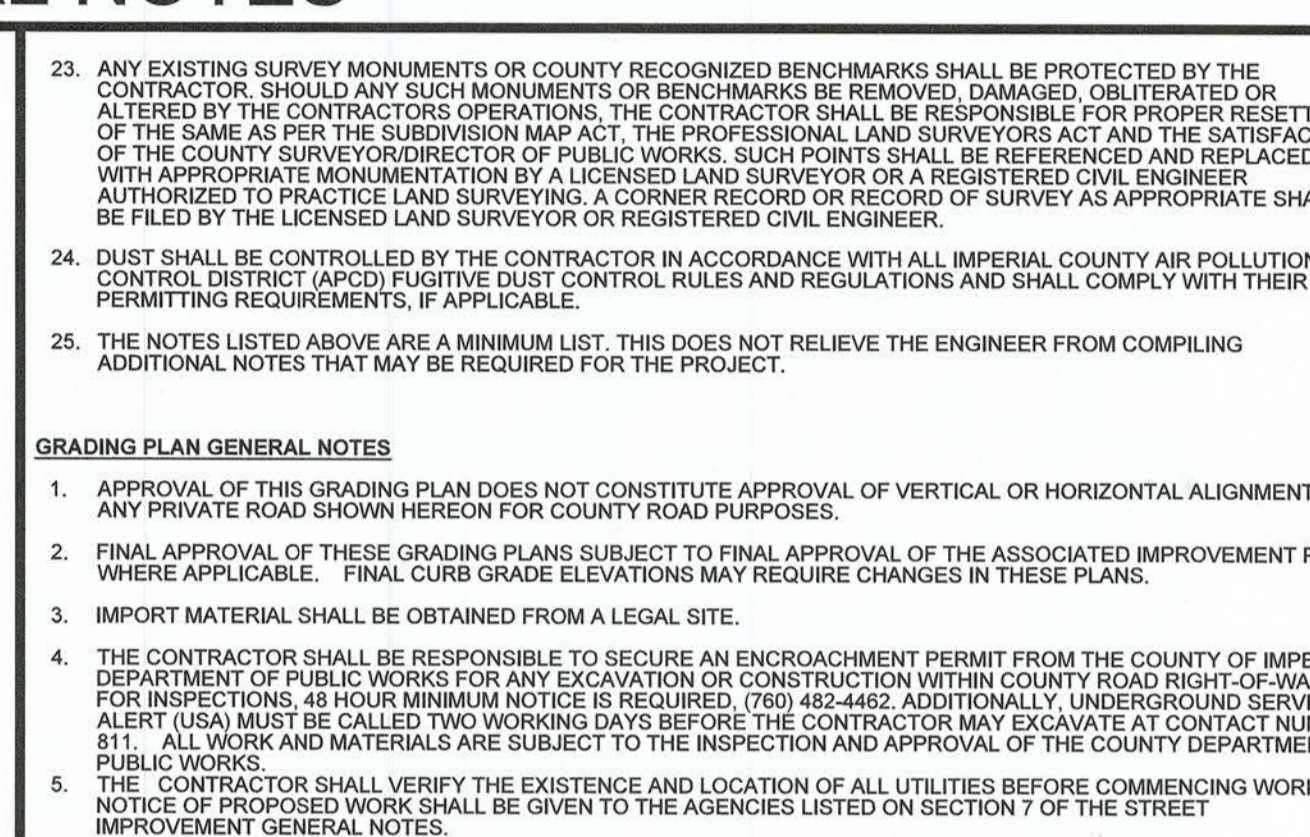
WATER AND SANITARY SEWER SERVICES FOR THIS PROJECT SHALL BE SUPPLIED BY THE SEELEY COUNTY WATER DISTRICT. AN 8 INCH WATER MAIN PIPELINE EXTENSION AND 8 INCH SANITARY SEWER MAIN PIPELINE EXTENSION WILL BE REQUIRED ALONG EVAN HEWES HIGHWAY FROM MOUNT SIGNAL DRIVE TO THE PROJECT SITE. THE PROJECT SITE TO SERVICE THE SEELEY FIRE STATION AND COOLING CENTER. SEE CIVIL PLAN AND PROFILE PLAN SHEET 18. THE WATER MAIN AND SANITARY SEWER MAIN WILL BE CONSTRUCTED IN IMPERIAL COUNTY RIGHT OF WAY. A SANITARY SEWER LATERAL, DOMESTIC WATER SERVICE, DOMESTIC WATER METER SERVICE, AND BACKFLOW PREVENTER AND SANITARY SEWER LATERAL EXTENSION WITHIN THE SEELEY FIRE STATION AND COOLING CENTER PROJECT SITE AS ILLUSTRATED ON THE APPROVED IMPERIAL COUNTY WATER DISTRICT PERMIT AND SANITARY SEWER LATERAL EXTENSION PERMIT. THE PERMIT FEES ARE GREATER THAN \$5,000 A POSITIVE CHANGE ORDER WILL BE PROCESSED COMPENSATING THE CONTRACTOR FOR THE COST OF THE IMPERIAL COUNTY WATER DISTRICT PERMIT FEES EXCESS OF \$5,000. IF THE ACTUAL PERMIT FEES ARE LESS THAN \$5,000 A POSITIVE CHANGE ORDER WILL BE PROCESSED COMPENSATING THE CONTRACTOR FOR THE DIFFERENCE BETWEEN THE \$5,000 BID ITEM AMOUNT AND THE ACTUAL ENCROACHMENT PERMIT FEE.

THE CONTRACTOR SHALL INSTALL THE FIRE HYDRANT WATER PIPELINE SERVICE, SPRINKLER WATER PIPELINE AND BACKFLOW PREVENTER, DOMESTIC WATER METER SERVICE, AND BACKFLOW PREVENTER AND SANITARY SEWER LATERAL EXTENSION WITHIN THE SEELEY FIRE STATION AND COOLING CENTER PROJECT SITE AS ILLUSTRATED ON THE APPROVED IMPERIAL COUNTY WATER DISTRICT PERMIT AND SANITARY SEWER LATERAL EXTENSION PERMIT. THE PERMIT FEES ARE GREATER THAN \$5,000 A POSITIVE CHANGE ORDER WILL BE PROCESSED COMPENSATING THE CONTRACTOR FOR THE COST OF THE IMPERIAL COUNTY WATER DISTRICT PERMIT FEES EXCESS OF \$5,000. IF THE ACTUAL PERMIT FEES ARE LESS THAN \$5,000 A POSITIVE CHANGE ORDER WILL BE PROCESSED COMPENSATING THE CONTRACTOR FOR THE DIFFERENCE BETWEEN THE \$5,000 BID ITEM AMOUNT AND THE ACTUAL ENCROACHMENT PERMIT FEE.

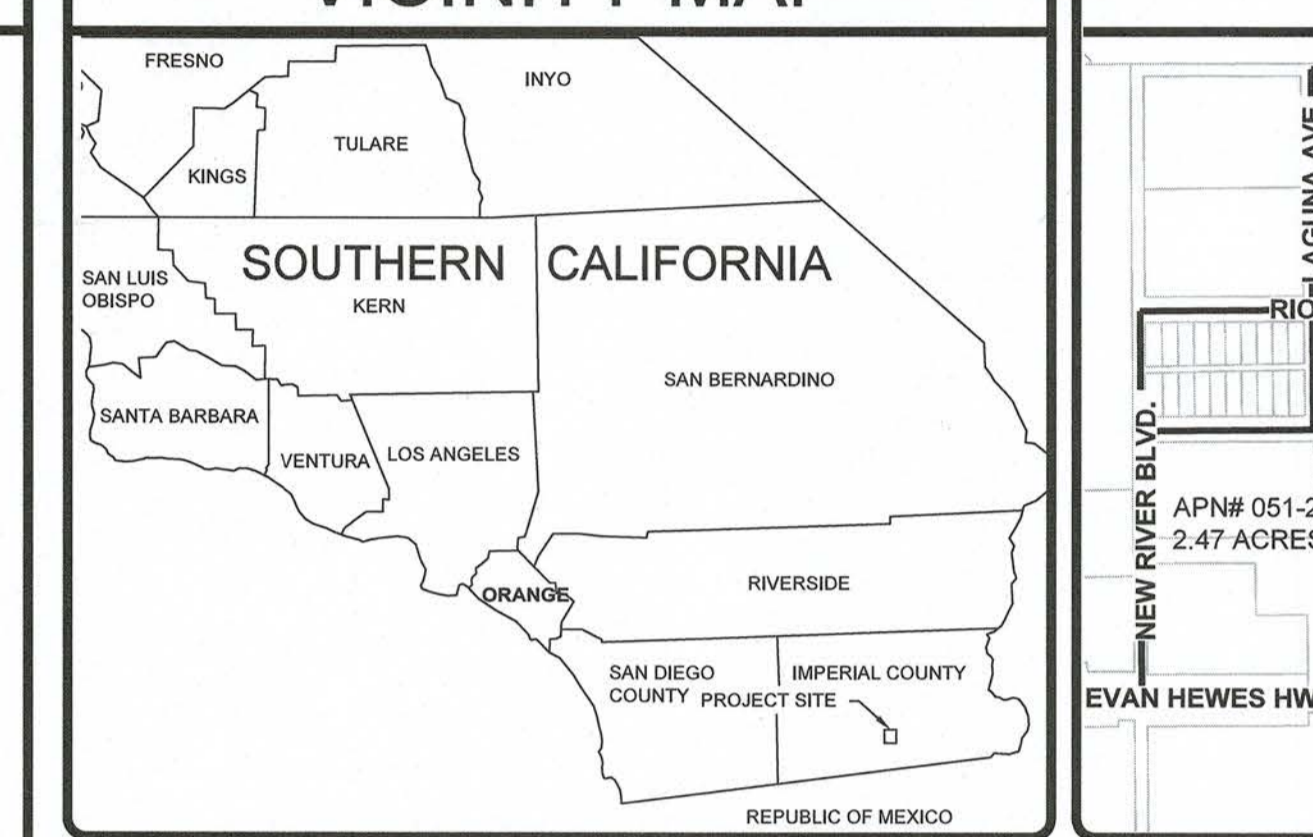
GENERAL NOTES

- COUNTY ENCROACHMENT PERMIT CONDITIONS AND PROVISIONS SHALL TAKE PRECEDENCE OVER THE APPROVED PLANS AND SPECIFICATIONS FOR ANY CONFLICTS.
 - THE STRUCTURAL SECTIONS SHALL BE IN ACCORDANCE WITH IMPERIAL COUNTY STANDARDS (OR CALTRANS IF IN STATE ROW) AND AS APPROVED BY THE PUBLIC WORKS DIRECTOR (OR CALTRANS).
 - APPROVAL OF THESE IMPROVEMENT PLANS AS SHOWN DOES NOT CONSTITUTE APPROVAL OF ANY CONSTRUCTION OUTSIDE THE PROJECT BOUNDARY.
 - ALL UNDERGROUND UTILITIES WITHIN THE STREET RIGHT-OF-WAY SHALL BE CONSTRUCTED, CONNECTED AND TESTED PRIOR TO CONSTRUCTION OF CURB, CROSS-GUTTER AND PAVING.
 - THE EXISTENCE AND LOCATION OF EXISTING UNDERGROUND FACILITIES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO OTHER EXISTING FACILITIES EXCEPT AS SHOWN ON THESE PLANS. HOWEVER, THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT ANY EXISTING FACILITY SHOWN HEREON AND ANY OTHER WHICH IS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
 - LOCATION AND ELEVATIONS OF IMPROVEMENTS TO BE MET BY WORK TO BE DONE SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION OF NEW WORK. CONTRACTOR WILL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES.
- GRADING PLAN GENERAL NOTES**
- APPROVAL OF THIS GRADING PLAN DOES NOT CONSTITUTE APPROVAL OF VERTICAL OR HORIZONTAL ALIGNMENT OF ANY PRIVATE ROAD SHOWN HEREON COUNTY ROAD PURPOSES.
 - FINAL APPROVAL OF THESE GRADING PLANS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE. FINAL CURB GRADE ELEVATIONS MAY REQUIRE CHANGES IN THESE PLANS.
 - IMPORT MATERIAL SHALL BE OBTAINED FROM A LEGAL SITE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO SECURE AN ENCROACHMENT PERMIT FROM THE COUNTY OF IMPERIAL DEPARTMENT OF PUBLIC WORKS FOR ANY EXCAVATION OR CONSTRUCTION WITHIN COUNTY ROAD RIGHT-OF-WAY. FOR INSPECTIONS, 48 HOUR MINIMUM NOTICE IS REQUIRED. (760) 482-4482. ADDITIONALLY, UNDERGROUND SERVICE ALERT (USA) MUST BE CALLED TWO WORKING DAYS BEFORE THE CONTRACTOR MAY EXCAVATE AT CONTACT NUMBER 811. ALL WORK AND MATERIALS ARE SUBJECT TO THE INSPECTION AND APPROVAL OF THE COUNTY DEPARTMENT OF PUBLIC WORKS.
 - THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF PROPOSED WORK SHALL BE GIVEN TO THE AGENCIES LISTED ON SECTION 7 OF THE STREET IMPROVEMENT GENERAL NOTES.
 - A SOILS REPORT MAY BE REQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT AND/OR GRADING PLAN APPROVAL.
 - APPROVAL OF THESE PLANS BY THE DIRECTOR OF PUBLIC WORKS DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNER'S PERMISSION HAS BEEN OBTAINED AND VALID GRADING PERMIT HAS BEEN ISSUED BY THE COUNTY PLANNING DEPARTMENT.
 - THE DIRECTOR OF PUBLIC WORKS' APPROVAL OF THESE PLANS DOES NOT CONSTITUTE COUNTY BUILDING OFFICIAL APPROVAL OF ANY FOUNDATION FOR STRUCTURES TO BE PLACED ON THE ITEMS COVERED BY THESE PLANS, INCLUDING ANY ONSITE OR PERIMETER SCREEN OR RETAINING WALLS.
 - ALL MAJOR SLOPES SHALL BE ROUNDED INTO EXISTING TERRAIN TO PRODUCE A CONTOURED TRANSITION FROM CUT OR FILL FACES TO NATURAL GROUND AND ABUTTING CUT OR FILL SURFACES.
 - NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE GRADING ORDINANCE AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE PERMITTEE IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE OR SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY SUCH PROPERTY FROM SETTLING, CRACKING, EROSION, SILTING, SCOUR OR OTHER DAMAGE, WHICH MAY BE THE RESULT OF THE GRADING DESCRIBED ON THE PLANS. THE COUNTY WILL HOLD THE PERMITTEE RESPONSIBLE FOR CORRECTION OF NON-COMPLETED IMPROVEMENTS WHICH DAMAGE ADJACENT PROPERTY.
 - SPECIAL CONDITION: IF ANY ARCHEOLOGICAL RESOURCES ARE DISCOVERED ON THE SITE OF THIS GRADING OPERATION, SUCH OPERATION WILL CEASE IMMEDIATELY AND THE PERMITTEE WILL NOTIFY THE DIRECTOR OF THE PLANNING DEPARTMENT AND THE DISCOVERY GRADING OPERATION WILL NOT RECOMMENCE UNTIL THE PERMITTEE HAS RECEIVED WRITTEN AUTHORITY FROM THE DIRECTOR OF PLANNING TO DO SO.
 - THE CONSTRUCTION OF ONE PCC STANDARD DRIVEWAY PER LOT. LOCATION TO BE DETERMINED IN THE FIELD BY ENGINEER OR WORK AND APPROVED BY COUNTY PUBLIC WORKS INSPECTOR. PCC SURFACING OF DRIVEWAY TO EXTEND FROM CURB TO PROPERTY.
 - ALL GRADING SHALL CONFORM TO THE UNIFORM BUILDING CODE APPENDIX CHAP. 33, AS AMENDED BY TITLE 9 LAND USE ORDINANCE.
 - ALL PROPERTY CORNERS SHALL BE CLEARLY DELINEATED IN THE FIELD PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION AND/OR GRADING.
 - DURING ROUGH GRADING OPERATIONS AND PRIOR TO THE CONSTRUCTION OF ANY PERMANENT DRAINAGE STRUCTURES, TEMPORARY DRAINAGE CONTROL SHALL BE PROVIDED TO PREVENT PONDING WATER AND DAMAGE TO CONTIGUOUS PROPERTIES.
 - DUST SHALL BE CONTROLLED IN ACCORDANCE WITH THE APPROVED PM10 PLAN. APPROVAL SHALL BE BY IMPERIAL COUNTY AIR POLLUTION CONTROL DISTRICT.
 - NO FILL SHALL BE PLACED ON EXISTING GROUND UNLESS THE EXISTING GROUND HAS BEEN CLEARED OF WEEDS, DEBRIS, TOPSOIL AND OTHER DELETERIOUS MATERIAL.
 - THE MAXIMUM ALLOWABLE CUT AND FILL SLOPES ARE 2:1, UNLESS A SLOPE STABILITY ANALYSIS AUTHORIZES A STEEPER SLOPE AND HAS BEEN APPROVED.
 - A 5' WIDE BY 1' HIGH BERM OR EQUIVALENT SHALL BE CONSTRUCTED ALONG THE TOP OF ALL FILL SLOPES OVER 5' IN VERTICAL HEIGHT. ALL SLOPES LESS THAN OR EQUAL TO 2:1 SHALL HAVE A BERM TO PREVENT DRAINAGE FROM ERODING SAME.
 - A BROW DITCH DESIGNED TO HANDLE THE FLOWS (Q) FROM A 100-YR. STORM EVENT SHALL BE CONSTRUCTED ALONG THE TOP OF ALL CUT SLOPES.
 - NO OBSTRUCTION OF FLOOD PLAINS OR NATURAL WATER COURSES WILL BE PERMITTED.
 - ALL EXISTING DRAINAGE COURSES ON THE PROJECT SITE MUST CONTINUE TO FUNCTION DURING STORM CONDITIONS. PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT CONTIGUOUS PROPERTIES DURING GRADING OPERATIONS.
 - THE FINISHED GRADE SHALL BE SLOPED AWAY FROM ALL EXTERIOR BUILDING WALLS AT NOT LESS THAN 4% (1/2" PER FOOT) FOR A MINIMUM OF 3 FEET, UNLESS A SOIL REPORT PROVIDES ALTERNATE RECOMMENDATIONS.
 - A SUITABLY QUALIFIED AND REGISTERED PROFESSIONAL SHALL SUBMIT A WRITTEN CERTIFICATION TO THE PUBLIC WORKS DEPARTMENT THAT THE FINAL GRADING HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS FOR ALL GRADING DESIGNATED AS "ENGINEERED GRADING". AS-BUILT PLANS SHALL BE PROVIDED PRIOR TO FINAL ACCEPTANCE.
 - THE CONTRACTOR SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT AT LEAST 48 HOURS IN ADVANCE OF REQUESTING A FINISH LOT GRADING AND DRAINAGE INSPECTION. THIS INSPECTION MUST BE APPROVED PRIOR TO THE BUILDING PERMIT FINAL INSPECTION BY PUBLIC WORKS FOR EACH LOT.
 - THE CONTRACTOR SHALL NOTIFY "UNDERGROUND SERVICE ALERT" AT 811 A MINIMUM OF TWO DAYS PRIOR TO THE COMMENCEMENT OF ANY DIGGING OR EXCAVATION.
- GEOTECHNICAL ENGINEER'S STATEMENT**
- I STATE THAT I HAVE REVIEWED THESE PLANS AND FIND THAT THEY SUBSTANTIALLY CONFORM TO THE RECOMMENDATIONS SET FORTH IN REPORT NO. EC367 DATED JULY 07, 2022 PREPARED IN OUR OFFICE.
- ROBERTO MARTINEZ, P.E.
SIERRA MATERIAL TESTING & INSPECTION
1003 INDUSTRY WAY, SUITE A
EL CENTRO, CALIFORNIA 92243
PHONE: (760) 337-2067
- 7/20/22 DATE

VICINITY MAP



LOCATION MAP



SHEET INDEX

| SHEET NO. | DRAWING NO. | SHEET TITLE ON-SITES | SHEET NO. | DRAWING NO. | SHEET TITLE ON-SITES |
|-----------|-------------|---|-----------|-------------|--|
| 1. | C1.01 | TITLE SHEET | 14. | C1.14 | SOLID WASTE ENCLOSURE SECTIONS AND DETAILS |
| 2. | C1.02 | SHEET INDEX/SITE PLAN | 15. | C1.15 | EROSION CONTROL PLAN AND CONTRACTOR STAGING AREA |
| 3. | C1.03 | EXISTING/DEMOLITION SITE PLAN | 16. | C1.16 | EROSION CONTROL DETAILS |
| 4. | C1.04 | GRADING IMPROVEMENT PLAN | 17. | C1.17 | HORIZONTAL CONTROL PLAN |
| 5. | C1.05 | GRADING IMPROVEMENT PLAN | 18. | C2.01 | EVAN HEWES HIGHWAY WATER AND SANITARY SEWER PLAN AND PROFILE SHEET |
| 6. | C1.06 | FENCING AND UTILITY PLAN | 19. | C2.02 | STORM WATER DRAINAGE SWALE AND SECTIONS |
| 7. | C1.07 | HANDICAP PARKING LOT BLOW-UP DETAIL | 20. | C2.03 | WATER AND SEWER DETAIL SHEET |
| 8. | C1.08 | GRADING AND FINISH SURFACE SECTIONS | 21. | C2.04 | WATER, SEWER AND DEPRESSED CURB & GUTTER DETAIL SHEET |
| 9. | C1.09 | WATER, SANITARY SEWER, PAVING AND SITE GRADING DETAIL SHEET | 22. | C2.05 | CHAIN LINK FENCE DETAIL SHEET |
| 10. | C1.10 | SOLID WASTE ENCLOSURE PLAN | 23. | C2.06 | MISCELLANEOUS DETAIL SHEET |
| 11. | C1.11 | WATER AND SANITARY SEWER DETAIL SHEET | | | |
| 12. | C1.12 | TRAFFIC CONTROL PLAN | | | |
| 13. | C1.13 | SIGNAGE AND STRIPING PLAN | | | |

APPROVAL FOR CONSTRUCTION

COUNTY OF IMPERIAL PUBLIC WORKS DEPARTMENT
APPROVED FOR CONSTRUCTION BY:

62028 R.C.E. No.

09/30/23 REG. EXP.

John Gay
JOHN GAY, P.E.
DIRECTOR OF PUBLIC WORKS

9/30/23 DATE

SITE ACREAGE

2.47 ACRES

EARTHWORK

FILL 11,684 CYD

NATIVE EARTH CUT 7,330 CYD

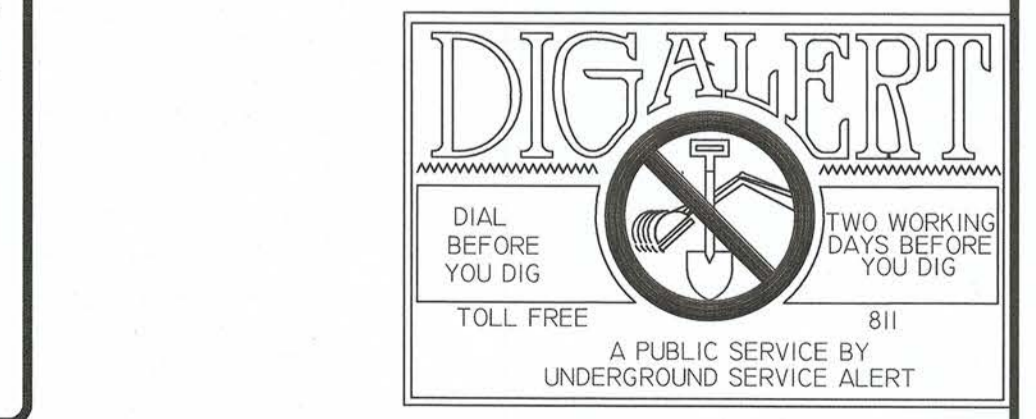
DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF THE WORK OF THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN THE BUSINESS AND PROFESSIONS CODE AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF THE PROJECT DRAWINGS AND SPECIFICATIONS BY THE COUNTY OF IMPERIAL IS CONFINED TO REVIEW ONLY AND DOES NOT RELIEVE ME AS ENGINEER OF WORK, OF MY RESPONSIBILITY FOR PROJECT DESIGN.

JAMES G. HOLT
THE HOLT GROUP, INC.
1601 N. IMPERIAL AVENUE
EL CENTRO, CALIFORNIA 92243
(760) 337-3883

7/18/2022 DATE



The Holt Group, Inc.
ENGINEERING • PLANNING • SURVEYING

EL CENTRO OFFICE
1601 N. Imperial Ave.
El Centro, CA 92243
(760) 337-3883

BLYTHE OFFICE
201 E. Hobsanway
Blythe, CA 92225
(760) 922-4658

UNAUTHORIZED CHANGES & USES: The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

CHECKED BY: JGH

| NO. | REVISIONS: | APPROVED | DATE | DESIGN BY: | PROJECT BENCH MARK: |
|-----|------------|----------|------|------------|----------------------------------|
| | | | | | NGS BENCHMARK "M-59 1927" |
| | | | | | ELEVATION = 980.45 (COH 88+1000) |

PREPARED UNDER THE DIRECT SUPERVISION OF:

JAMES G. HOLT
31773 R.C.E. NO.
12/31/2022 REG. EXP.

7/08/2022 DATE

James G. Holt, P.E.

PROJECT TITLE:
SEELEY FIRE STATION AND COOLING CENTER

SHEET CONTENT:
TITLE SHEET

C1.01 SHEET

1 OF 23 SHEETS

JOB NO. 542.088



801 Main Street
 El Centro, CA 92243
 (442) 265-1736

| |
|--|
| Today's Date: ___/___/___ Permit #: _____ APN: _____ |
|--|

Waste Management Plan (WMP) for Construction and Demolition Debris

| Applicant's Information | | | Project Information | |
|---|--------|------|--|-----------|
| Company/Individual Name: | | | Name: | |
| Address: | | | Site Address: | |
| City: | State: | Zip: | Expected Project Start date: | End date: |
| Phone: | | | Project Type | |
| Fax#: | | | Residential (circle all that apply): Construction Demolition Grading Renovation Remodel Addition | |
| Email: | | | Non Residential (circle all that apply): Construction Demolition Grading Renovation Remodel Addition | |
| Relation to Project: | | | Is this project exempt? <input type="checkbox"/> Yes <input type="checkbox"/> No Reason: _____ Swimming Pool <input type="checkbox"/> Yes <input type="checkbox"/> No SQ Ft: _____ Value \$ _____ If other, please explain: _____ | |
| Property Owner Information (if different from above) | | | | |
| Address | | | Does this project consist of a re-roof? <input type="checkbox"/> Yes <input type="checkbox"/> No Type of roof being replaced: Composition/Asphalt Wood Tile | |
| City | State | Zip | Project Description: | |
| Phone: | | | | |
| | | | Square footage increase/decrease: _____ Value \$ _____ | |

| Recycling and/or Reuse Pre Plan (submit plan with permit application to the County of Imperial Building Division) | | | | |
|---|-------------------------|-------------------------------|--|------------------------------------|
| Material Type | Who will haul material? | Material will be (Circle one) | Recycling/Reuse Facility name Where debris will be taken | Estimated Recycling/Reuse Rate (%) |
| | | Recycled Reused | | |
| | | Recycled Reused | | |
| | | Recycled Reused | | |
| | | Recycled Reused | | |
| | | Recycled Reused | | |
| | | Recycled Reused | | |

Construction waste generated on this project for transport to a recycling facility will be:
 Sorted on-site (Source-separated) Bulk mixed (Single stream)

| Recycling and/or Reuse Final Report (complete and submit at project completion by attaching weight tickets to this document) | | | | | | |
|--|---------|---------------------------|--------|------------|--|-----------------------|
| Material Type | Tonnage | Material was (Circle one) | | | Recycling/Reuse (Facility Name where debris was taken) | % of tonnage recycled |
| | | Recycled | Reused | Landfilled | | |
| | | Recycled | Reused | Landfilled | | |
| | | Recycled | Reused | Landfilled | | |
| | | Recycled | Reused | Landfilled | | |
| | | Recycled | Reused | Landfilled | | |
| | | Recycled | Reused | Landfilled | | |

The purpose of this plan is to identify and outline the methods to be used as the minimum requirements for a construction waste management when the local jurisdiction does not have a construction and demolition waste management ordinance per Section 4.408.2. This construction waste management plan is hereby submitted to comply with Sections 4.408, 5.408, 301.1.1 and 301.3 of the California Green Building Standards Code. By signing below, I acknowledge that I have read the CWMP for this project and agree to my responsibilities to follow the procedures of this plan.

Person Signing the Plan: Property Owner or Legal Representative (please circle one)

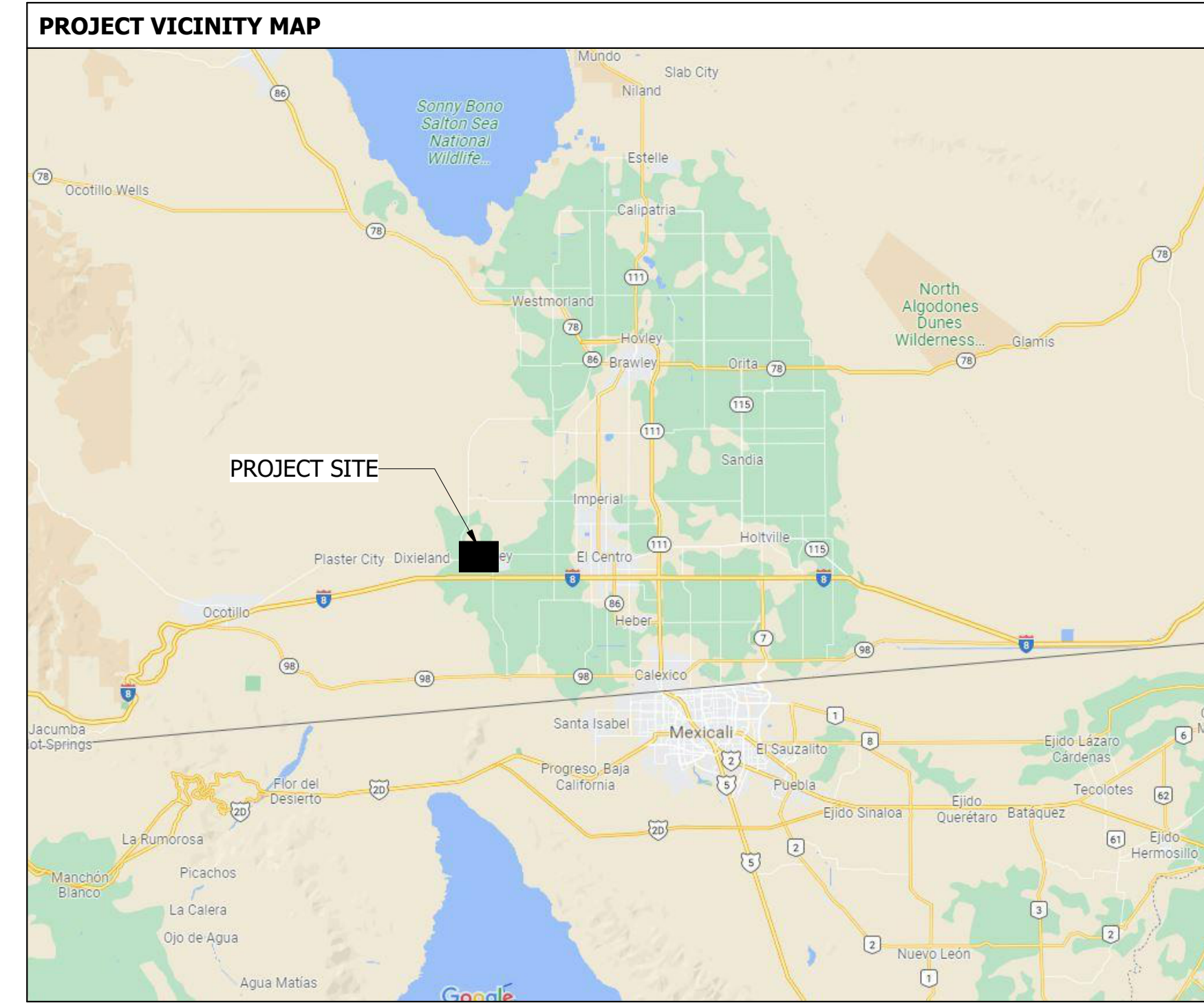
 Signature Printed Name Date

| Imperial County Planning & Development Services Official Use Only | | |
|--|--------------|------|
| Recycling & Reuse Pre Plan Approval | | |
| Imperial County Building Official | Printed Name | Date |
| Recycling & Reuse FINAL Approval | | |
| Meets 65% Requirement: <input type="checkbox"/> Yes <input type="checkbox"/> No Approval % If lower than 65%: _____ % Reason: _____ | | |
| Recycling & Reuse Final Approved: <input type="checkbox"/> Yes <input type="checkbox"/> No | | |
| Imperial County Building Official | Printed Name | Date |

SEELEY FIRE STATION & COOLING CENTER

COUNTY OF IMPERIAL

EVAN HEWES HIGHWAY
SEELEY, CALIFORNIA



I. CODE ANALYSIS

- A. PROJECT NAME**
SEELEY FIRE STATION & COOLING CENTER
- B. SITE DESCRIPTION**
THE SITE IS LOCATED NEAR OF THE INTERSECTION OF EVAN HEWES HWY & MOUNT SIGNAL AVE IN THE TOWN OF SEELEY, CALIFORNIA. SEELEY IS LOCATED IN IMPERIAL COUNTY.
- C. PROJECT USE/DESCRIPTION**
THE PROPOSED PROJECT CONSISTS OF GROUND UP CONSTRUCTION OF A 4,735 S.F., ONE STORY PRE-ENGINEERED METAL BUILDING FOR COUNTY FIRE DEPARTMENT. THE USES WILL COMPRISE OF GROUP B BUSINESS SPACE WHERE THE OWNER'S SPECIFIC USE WILL BE OFFICE, PROFESSIONAL OR SERVICE-TYPE TRANSACTIONS - INCLUDING STORAGE OF RECORDS AND ACCOUNTS; GROUP R-3 RESIDENTIAL WHERE CONGREGATE LIVING FACILITIES (TRANSIENT) WITH 10 OR FEWER OCCUPANTS; GROUP A-3 ASSEMBLY SPACE FOR COOLING OFF INDIVIDUALS FROM THE CALIFORNIA HEAT; AND GROUP S-2 APPARATUS ROOM FOR FIRE TRUCK STORAGE.
- D. APPLICABLE CODES**
TITLE 24, 2019 CALIFORNIA BUILDING CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA GREEN BUILDING STANDARDS CODE, CALIFORNIA ENERGY CODE, AND CALIFORNIA BUILDING CODE: CHAPTER 11B - ACCESSIBILITY TO PUBLIC BUILDINGS, PUBLIC ACCOMMODATIONS, COMMERCIAL BUILDINGS AND PUBLIC HOUSING
- E. OCCUPANCY CALCULATIONS**
- | | | |
|--------------------------------|---|--|
| BUILDING | B: 1,333 S.F. (LIMITATIONS: 92,000 S.F.; 4 STORIES, 75' HEIGHT) | 1,333/150 = 9 OCCUPANTS PER TABLE 1004.5 |
| R-3: | 754 S.F. (LIMITATIONS: UNLIMITED S.F.; 5 STORIES, 55' HEIGHT) | 754/200 = 4 OCCUPANTS PER TABLE 1004.5 |
| A-3: | 1,000 S.F. (LIMITATIONS: 38,000 S.F.; 3 STORIES, 75' HEIGHT) | 1,000/15 = 67 OCCUPANTS PER TABLE 1004.5 |
| S-2: | 1,648 S.F. (LIMITATIONS: 104,000 S.F.; 4 STORIES, 75' HEIGHT) | 1,648/200 = 8 OCCUPANTS PER TABLE 1004.5 |
| TOTAL BUILDING OCCUPANCY: | | 88 OCCUPANTS |
| TOTAL BUILDING SQUARE FOOTAGE: | | 4,735 |
- F. CONSTRUCTION TYPES**
TYPE IIB - 100% SPRINKLERED

II. HEIGHT & AREA LIMITATIONS

- A. ALLOWABLE HEIGHTS & AREAS - MOST RESTRICTIVE PROVISIONS:**
- BUILDING:** SINGLE FIRE AREA IS CREATED, BOUNDED BY THE EXTERIOR WALLS OF THE BUILDING - A-3 OCCUPANCY, 3 STORY HEIGHT LIMIT, TYPE IIB CONSTRUCTION
- PER SECTION 508.3.2, THE TOTAL AREA (4,735 S.F.) IS LESS THAN THE ALLOWABLE AREA LIMITATIONS FOR THE MOST RESTRICTIVE OCCUPANCY TYPE (A-3 - 38,000 S.F.) AND THEREFORE QUALIFIES FOR NON-SEPARATED USE.

III. COMPONENT FIRE RESISTANCE CRITERIA

- A. BUILDINGS ELEMENTS: TYPE IIA CONSTRUCTION**
BUILDING OCCUPANCIES: B, R-3, A-3, S-2
- THE FOLLOWING IS THE FIRE RESISTANCE RATING PER CONSTRUCTION TYPE IIA:
- | | | |
|-----------------------|--------|---------------------------|
| 1. STRUCTURAL FRAME | 0 HOUR | PER TABLE 601 |
| 2. BEARING WALLS | 0 HOUR | PER TABLE 601 |
| - EXTERIOR | 0 HOUR | PER TABLE 601 |
| - INTERIOR | 0 HOUR | PER TABLE 601 |
| 3. NON-BEARING WALLS | 0 HOUR | PER TABLE 602 X > +30'-0" |
| - EXTERIOR | 0 HOUR | PER TABLE 601 |
| - INTERIOR | 0 HOUR | PER TABLE 601 |
| 4. FLOOR CONSTRUCTION | 0 HOUR | PER TABLE 601 |
| 5. ROOF CONSTRUCTION | 0 HOUR | PER TABLE 601 |

***BUILDING STRUCTURE TO HAVE A FIRE PROTECTIVE COATING APPLIED TO ACHIEVE A 1-HOUR RATING**

IV. EXIT REQUIREMENTS

- A. MEANS OF EGRESS WIDTH FACTORS**
PER SECTION 1005 A FACTOR OF 0.2 INCHES PER OCCUPANT IS TO BE USED FOR DETERMINING THE MINIMUM EGRESS/EXIT WIDTH AT DOORS.
- 88 (OCCUPANTS) X 0.2 (FACTOR) = 18 INCHES MINIMUM EGRESS WIDTH
EGRESS WIDTH PROVIDED = 216 INCHES
- B. EXIT ACCESS TRAVEL DISTANCE**
PER TABLE 1017.2 FOR OCCUPANCY GROUPS A & R WITH A SPRINKLER SYSTEM THE MAXIMUM EXIT ACCESS TRAVEL DISTANCE SHALL BE NO MORE THAN 250'-0".
- PER TABLE 1017.2 FOR OCCUPANCY GROUP B WITH A SPRINKLER SYSTEM THE MAXIMUM EXIT ACCESS TRAVEL DISTANCE SHALL BE NO MORE THAN 300'-0".
- PER TABLE 1017.2 FOR OCCUPANCY GROUP S-2 WITH A SPRINKLER SYSTEM THE MAXIMUM EXIT ACCESS TRAVEL DISTANCE SHALL BE NO MORE THAN 400'-0".
- C. SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY**
PER TABLE 1006.2.1 FOR OCCUPANCY GROUP A WITH A SPRINKLER SYSTEM THE MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE IS 75'-0".
- PER TABLE 1006.2.1 FOR OCCUPANCY GROUPS B & S WITH A SPRINKLER SYSTEM THE MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE IS 100'-0".
- PER TABLE 1006.2.1 FOR OCCUPANCY GROUP R-3 WITH A SPRINKLER SYSTEM THE MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE IS 125'-0".
- D. MINIMUM EGRESS REQUIREMENTS**
PER TABLE 1006.3.1 MINIMUM NUMBER OF EXITS OR ACCESS TO EXITS PER STORY
- NUMBER OF REQUIRED EXITS:
BUILDING 01 = 2
- NUMBER OF EXITS PROVIDED:
BUILDING 01 = 2

V. FIRE PROTECTION SYSTEMS REQUIREMENTS

- | | REQUIRED |
|--------------------------|----------|
| AUTOMATIC SPRINKLER | YES |
| MANUAL FIRE ALARM SYSTEM | NO |
| SMOKE DETECTORS | NO |
| STORAGE ROOMS OVER 300SF | N/A |
- FIRE EXTINGUISHERS - NO PORTION OF THE SPACE SHALL EXCEED 75' OF UNOBSTRUCTED TRAVEL TO FIRE EXTINGUISHERS.
- AREAS:
- | | |
|-----|--------------------------------------|
| B | RE: A0.10 FOR EXTINGUISHER LOCATIONS |
| R-3 | RE: A0.10 FOR EXTINGUISHER LOCATIONS |
| A-3 | RE: A0.10 FOR EXTINGUISHER LOCATIONS |
| S-2 | RE: A0.10 FOR EXTINGUISHER LOCATIONS |

VI. PLUMBING FIXTURES

- A. PER TABLE 2902.1 THE FOLLOWING PLUMBING FIXTURES ARE REQUIRED TOTAL OCCUPANT LOAD -**
- REQUIRED FIXTURES:**
- B - REQUIRED FIXTURES: 9 OCCUPANTS**
- | | |
|----------------------|---|
| WATER CLOSETS - | 1 PER 25 FOR THE FIRST 50 AND 1 PER 50 FOR THE REMAINDER EXCEEDING 50 |
| LAVATORIES - | 1 PER 40 FOR THE FIRST 80 AND 1 PER 80 FOR THE REMAINDER EXCEEDING 80 |
| DRINKING FOUNTAINS - | 1 PER 100 |
| SERVICE SINK - | 1 REQUIRED - EXCEPTION e. OCCUPANT LOAD < 15 = NOT REQUIRED |
- R-3 - REQUIRED FIXTURES: 4 OCCUPANTS**
- | | |
|----------------------|------------|
| WATER CLOSETS - | 1 PER 10 |
| LAVATORIES - | 1 PER 10 |
| DRINKING FOUNTAINS - | 1 PER 100 |
| SERVICE SINK - | 1 REQUIRED |
- A-3 - REQUIRED FIXTURES: 67 OCCUPANTS**
- | | |
|----------------------|---|
| WATER CLOSETS - | 1 PER 150 PER MALE, 1 PER 75 PER FEMALE |
| LAVATORIES - | 1 PER 200 |
| DRINKING FOUNTAINS - | 1 PER 1,000 |
| SERVICE SINK - | 1 REQUIRED |
- S-2 - REQUIRED FIXTURES: 8 OCCUPANTS**
- | | |
|----------------------|-------------|
| WATER CLOSETS - | 1 PER 100 |
| LAVATORIES - | 1 PER 100 |
| DRINKING FOUNTAINS - | 1 PER 1,000 |
| SERVICE SINK - | 1 REQUIRED |
- TOTAL PROVIDED FIXTURES:**
- | | | |
|--------------------|----------------------------------|--------------|
| WATER CLOSETS - | UNI-SEX R/R 113 - 1 WATER CLOSET | |
| | UNI-SEX R/R 114 - 1 WATER CLOSET | = 3 PROVIDED |
| | WASHROOM 110 - 1 WATER CLOSET | |
| LAVATORIES - | UNI-SEX R/R 113 - 1 WATER CLOSET | |
| | UNI-SEX R/R 114 - 1 WATER CLOSET | = 3 PROVIDED |
| | WASHROOM 110 - 1 WATER CLOSET | |
| DRINKING FOUNTAINS | - 1 PROVIDED | |
| SERVICE SINK | - 1 PROVIDED | |

VII. DEFERRED SUBMITTALS

- PER SECTION 107.3.4.1:
"SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL"
- ITEMS TO BE DEFERRED:**
- PRE-ENGINEERED METAL BUILDING (INCLUDING ROOF MATERIALS, ROOF DRAINAGE CALCULATIONS, LOAD REACTIONS AND LOCATIONS, PEMB STRUCTURAL PLANS AND CALCULATIONS)
 - FIRE ALARM
 - FIRE SPRINKLERS

CIVIL ENGINEER

THE HOLT GROUP
CONTACT: JACK HOLT, P.E.
1601 N. IMPERIAL AVE
EL CENTRO, CA 92243
PHONE: (760) 337-3883
EMAIL: jack@theholtgroup.net

ARCHITECT

THE HOLT GROUP
CONTACT: TIM M. HOLT, AIA, NCARB
1601 N. IMPERIAL AVE
EL CENTRO, CA 92243
PHONE: (760) 408-6604
EMAIL: tim@theholtgroup.net

STRUCTURAL ENGINEER

DC ENGINEERING
CONTACT: JOE CHAPMAN
440 EAST CORPORATE DR., STE. 103
MERIDIAN, ID 83642
PHONE: (208) 989-3141
EMAIL: jchapman@dcengineering.com

MEP ENGINEER

DC ENGINEERING
CONTACT: JOE CHAPMAN
440 EAST CORPORATE DR., STE. 103
MERIDIAN, ID 83642
PHONE: (208) 989-3141
EMAIL: jchapman@dcengineering.com

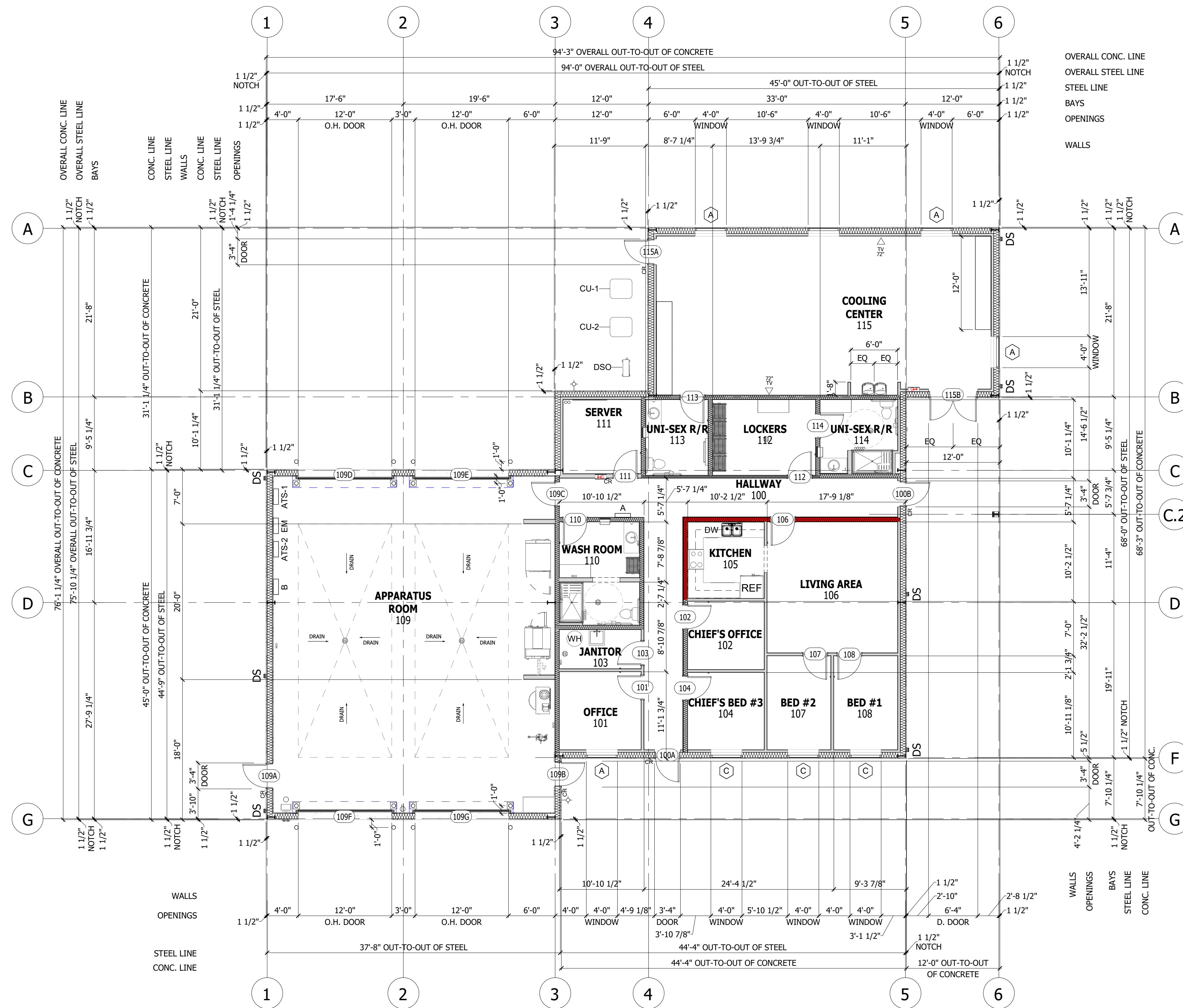
GEOTECHNICAL ENGINEER

SIERRA MATERIAL TESTING & INSP.
CONTACT: ALEX ROJAS
1003 INDUSTRIAL WAY, STE. A
EL CENTRO, CA 92243
PHONE: (760) 337-2067

RFI REV. 1 - 2022/10/25

COUNTY OF IMPERIAL

*RE: A3.10 FOR WALL ID TAGS



| WALL TYPE | |
|-----------|--------------------------|
| | NEW WALL |
| | NEW WALL WITH INSULATION |

| FIRE EXTINGUISHER LEGEND | |
|--|--|
| | PROPOSED FIRE EXTINGUISHER CABINET - TRAVEL DISTANCE TO EXTINGUISHERS IS 75' MAXIMUM |
| | PROPOSED FIRE EXTINGUISHER - TRAVEL DISTANCE TO EXTINGUISHERS IS 75' MAXIMUM |
| FIRE EXTINGUISHER TO BE 10LB, ABC DRY CHEMICAL TOP OF FIRE EXTINGUISHER TO BE MOUNTED BELOW 48" A.F.F. INSTALL EXTINGUISHERS PER NFPA 10 | |

| ENTRANCE & REQUIRED EXIT DOOR NOTES | |
|---|--|
| ENTRANCES: DOOR IS AT GRADE. PROVIDE HANDICAP SIGNAGE AT INTERIOR AND EXTERIOR DISPLAYING INTERNATIONAL SYMBOL AND WORDING INDICATING ACCESSIBILITY. MAINTAIN SAME ELEVATION BOTH SIDES OF THRESHOLD PER IBC SECTION 1010.1.7. THRESHOLD MUST NOT EXCEED 1/2" IN HEIGHT. | |
| EXITS: MAINTAIN SAME ELEVATION BOTH SIDES OF THRESHOLD PER IBC SECTION 1010.1.7. THRESHOLD MUST NOT EXCEED 1/2" IN HEIGHT. | |

STRUCTURAL NOTE
BAY DIMENSIONS AND COLUMN LOCATIONS ARE SHOWN FOR REFERENCE ONLY - RE: PEMB DRAWINGS FOR EXACT SIZES AND BUILDING SPECIFICATIONS

01 FLOOR PLAN - DIMENSIONS
1/8" = 1'-0"

The Holt Group, Inc.
ENGINEERING · PLANNING · SURVEYING

201 E. Hobsonway
Bythe CA 92225
(760) 922-4658

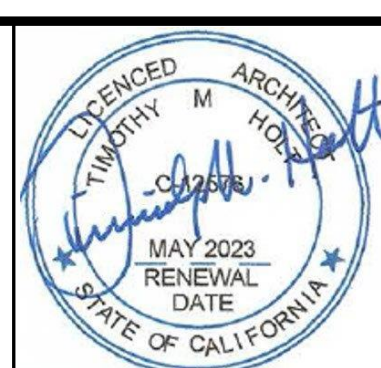
1601 N. Imperial Ave.
Es Camino, CA 92243
(760) 337-3883

36951 Cook Street
Palm Desert CA 92211
(760) 427-8533

| NO. | REVISIONS: | APPROVED | DATE | DESIGN BY: |
|-----|-----------------|----------|------------|------------|
| 1 | 75% REVIEW SET | | 2022/02/18 | |
| 2 | 100% REVIEW SET | | 2022/03/14 | |
| 3 | IFP SET | | 2022/03/29 | |
| 4 | PERMIT REV 1 | | 2022/07/08 | |
| 5 | PERMIT REV 2 | | 2022/08/15 | |
| 6 | PERMIT REV 3 | | 2022/09/06 | |

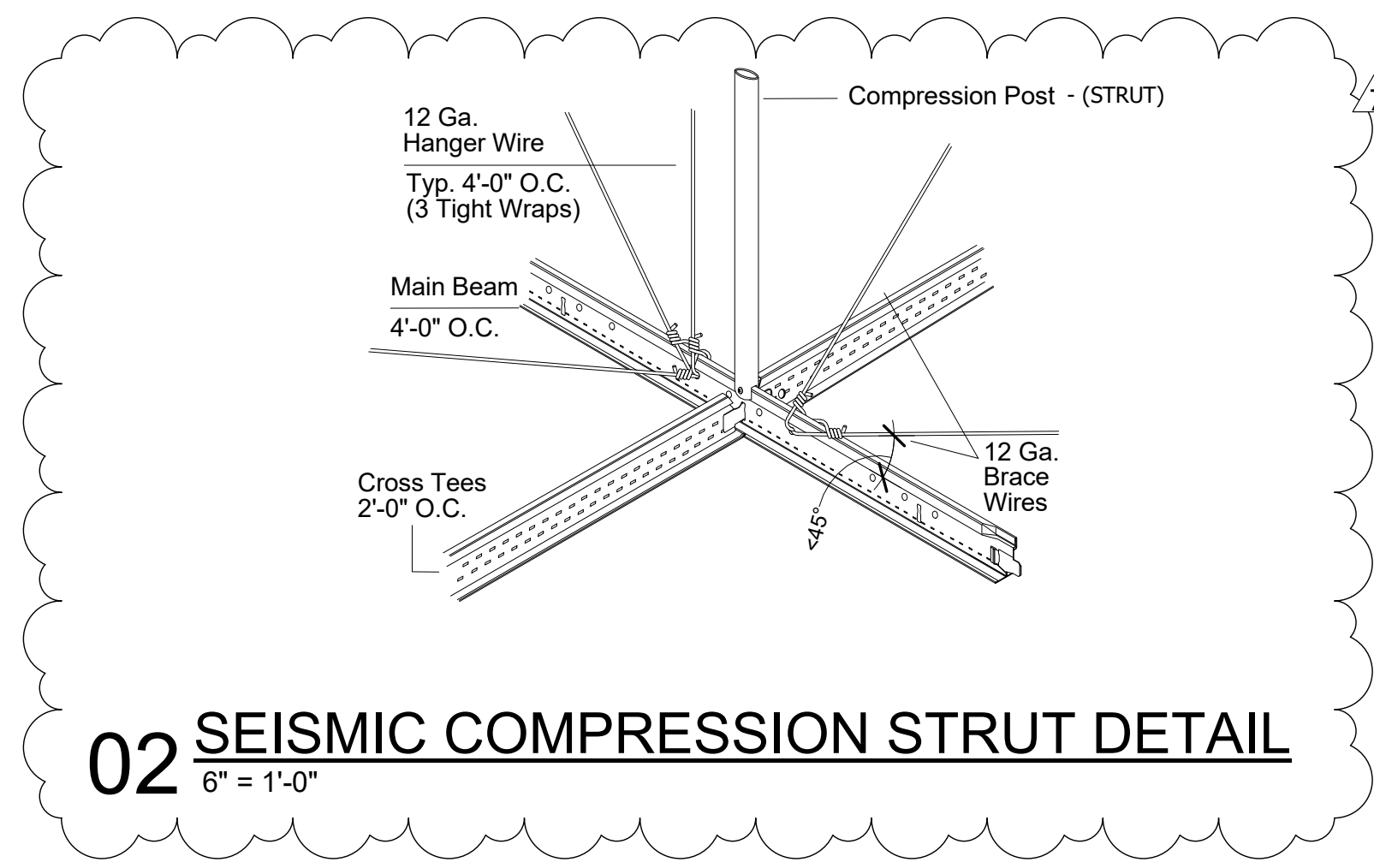
UNAUTHORIZED CHANGES & USES: The architect preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

| | |
|------------------|--------------------|
| DRAWN BY: LMH | CHECKED BY: NEB |
|------------------|--------------------|



| | |
|--|--------------------|
| PREPARED UNDER THE DIRECT SUPERVISION OF: <i>Timothy M. Holt</i> TIMOTHY M. HOLT, A.I.A. | DATE 07/08/2022 |
|--|--------------------|

| | |
|---|--------------------|
| PROJECT TITLE: SEELEY FIRE STATION & COOLING CENTER | SHEET A3.00 |
| SHEET CONTENT: FLOOR PLAN - DIMENSIONS | OF SHEETS |
| 12576 REGISTRATION NUMBER 05 - 31 - 2023 EXPIRATION | JOB NO. 1509-00 |



| KEYNOTES | |
|----------|---|
| 522 | PROVIDE POWER AND BACKLITE "COUNTY COOLING CENTER" SIGN - DESIGN TO BE SUBMITTED FOR OWNER APPROVAL |
| 944 | MP-6: METAL SOFFIT PANEL - RE: FINISH MATERIALS SCHEDULE |

| REFLECTED CEILING PLAN LEGEND | |
|-------------------------------|---|
| | PTD GYP. BD. CEILING |
| | 4' LINEAR SURFACE MOUNTED LED LIGHT FIXTURE |
| | LED HIGH-BAY LIGHT FIXTURE |
| | 6" RECESSED CAN LIGHT |
| | NEW LED ILLUMINATED EGRESS SIGN |
| | EXTERIOR EGRESS LIGHT |
| | EXTERIOR WALL PACK |
| | EXHAUST FAN - CEILING MOUNTED |
| | SPOT ELEVATION X'-X" A.F.F. |
| | ACCESS PANEL |
| | CEILING FAN |
| | 8' DIAMETER HVLS FAN |

REFLECTED CEILING PLAN NOTES

RE: ELECTRICAL DRAWINGS FOR LIGHTING INFORMATION

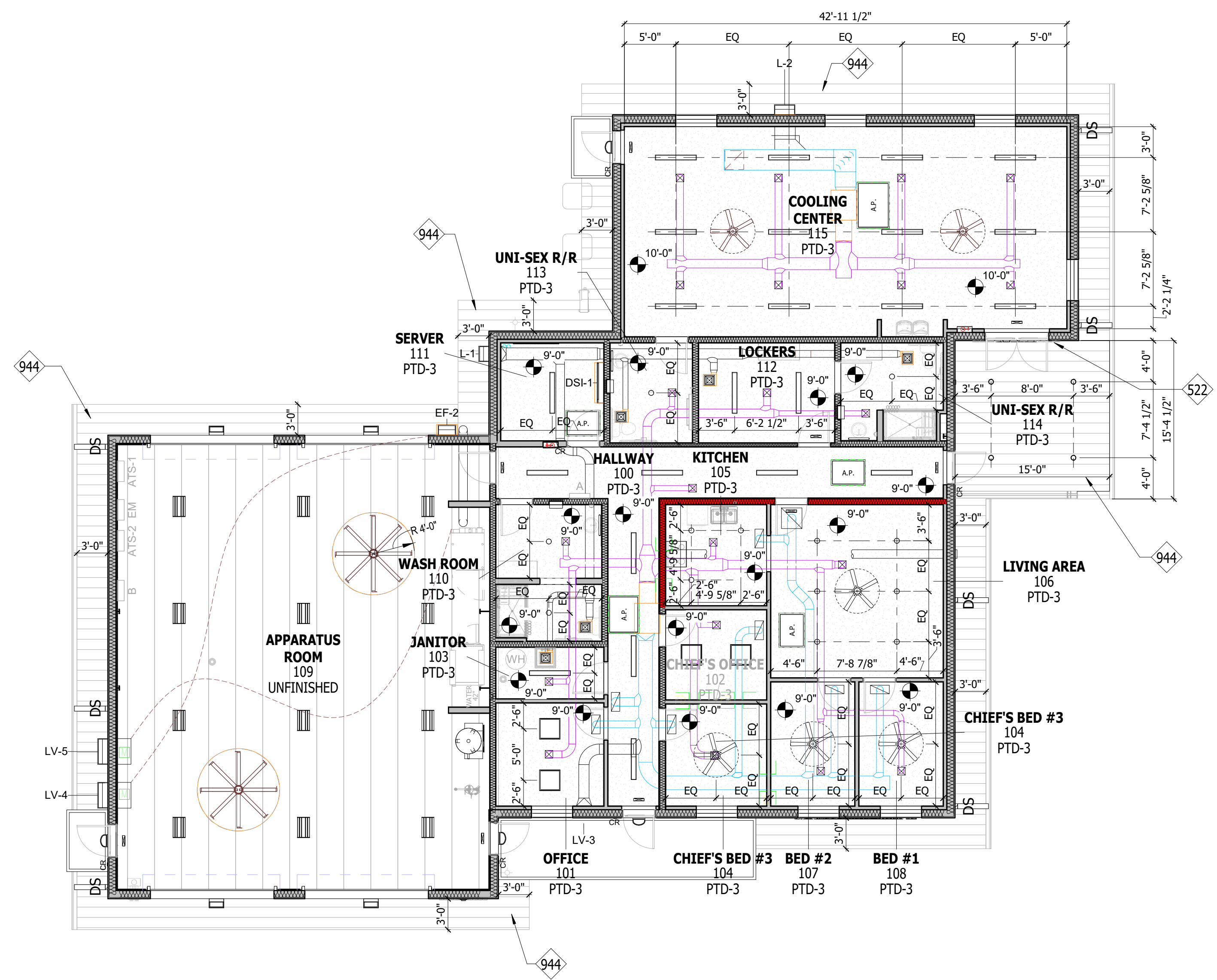
CEILING BRACING SHALL BE PROVIDED BY FOUR NO. 12 GAUGE WIRES SECURED TO THE MAIN RUNNER WITHIN 2 INCHES OF THE CROSS RUNNER INTERSECTION AND SPAYED 90 DEGREES FROM EACH OTHER AT AN ANGLE NOT EXCEEDING 45 DEGREES FROM THE PLANE OF THE CEILING

A STRUT (ADEQUATE TO RESIST THE VERTICAL COMPONENT FROM LATERAL LOADS) FASTENED TO THE MAIN RUNNER SHALL BE EXTENDED TO AND FASTENED TO THE STRUCTURAL MEMBERS OF THE ROOF ABOVE. THESE HORIZONTAL RESTRAINT POINTS SHALL BE PLACED 12 FT. ON CENTER IN BOTH DIRECTIONS WITH THE FIRST POINT WITHIN 6 FT. OF EACH WALL. ATTACHMENT OF THE RESTRAINT WIRES TO THE STRUCTURE ABOVE SHALL BE ADEQUATE FOR THE LOAD IMPOSED

*WHEN EMERGENCY WARNING SYSTEMS OR FIRE ALARMS ARE PROVIDED, THERE SHALL BE APPROVED NOTIFICATION APPLIANCES FOR THE HEARING IMPAIRED, INSTALLED IN ACCORDANCE WITH THE NATIONAL STANDARDS PER SECTIONS 907.5.2.1.3 & 11B-702.1 IN THE FOLLOWING AREAS:

- I) RESTROOM
- II) OCCUPIED ROOMS WHERE AMBIENT NOISE IMPAIRS HEARING OF THE FIRE ALARM
- III) MEETING ROOMS

*AUDIBLE AND VISUAL ALARMS WILL COMPLY WITH THE PROVISIONS OF TITLE 24 SECTION 907



| ELECTRICAL EQUIPMENT SCHEDULE | |
|-------------------------------|------------------|
| IDENTIFICATION | COMMENTS |
| GENERATOR | RE: MEP DRAWINGS |
| ATS-1 | RE: MEP DRAWINGS |
| B | RE: MEP DRAWINGS |
| A | RE: MEP DRAWINGS |
| EM | RE: MEP DRAWINGS |
| ATS-2 | RE: MEP DRAWINGS |

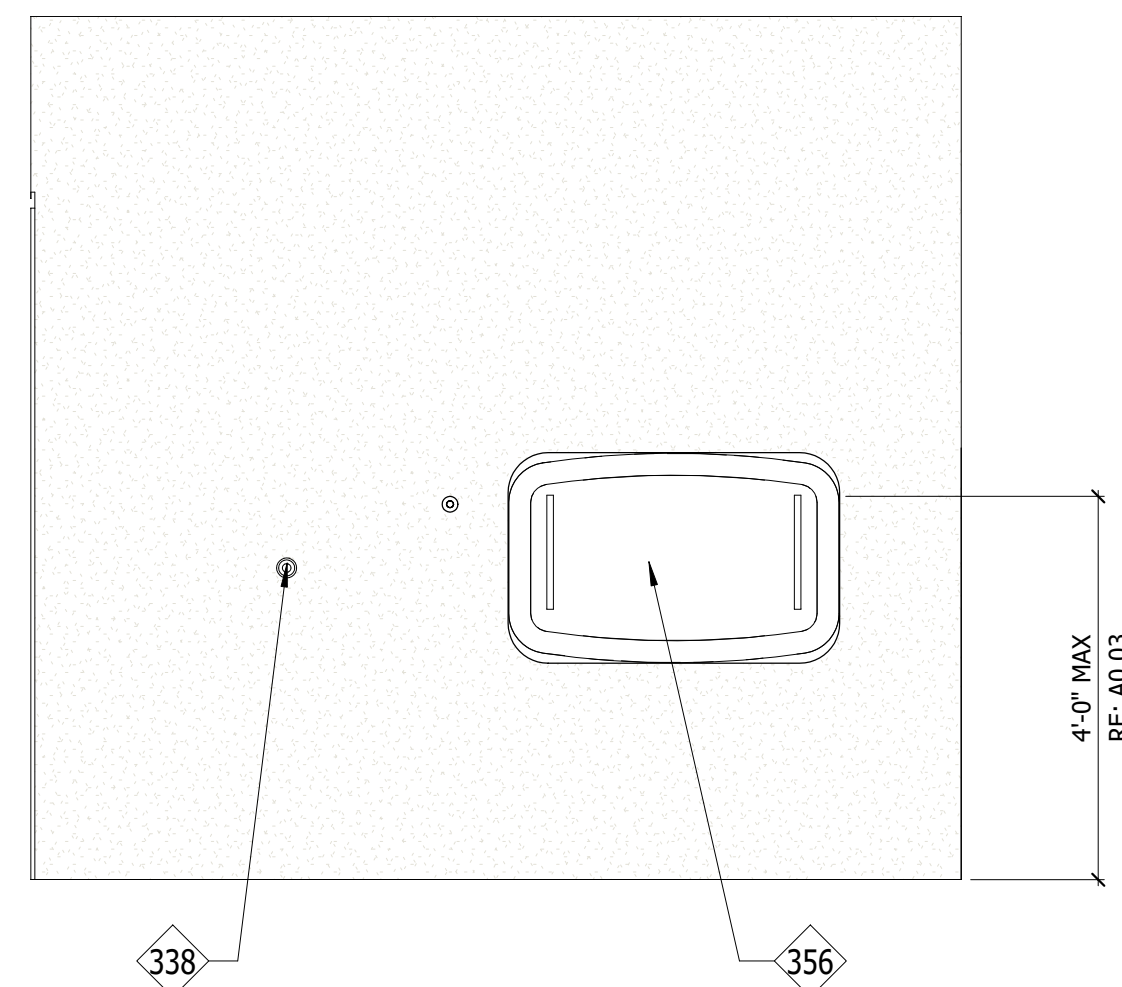
| MECHANICAL EQUIPMENT SCHEDULE | |
|-------------------------------|-------------------------|
| IDENTIFICATION | COMMENTS |
| LV-3 | RE: MECHANICAL DRAWINGS |
| L-1 | RE: MECHANICAL DRAWINGS |
| DS0 | RE: MECHANICAL DRAWINGS |
| CU-2 | RE: MECHANICAL DRAWINGS |
| CU-1 | RE: MECHANICAL DRAWINGS |
| DSI-1 | RE: MECHANICAL DRAWINGS |
| LV-5 | RE: MECHANICAL DRAWINGS |
| EF-2 | RE: MECHANICAL DRAWINGS |
| L-2 | RE: MECHANICAL DRAWINGS |
| LV-4 | RE: MECHANICAL DRAWINGS |

01 REFLECTED CEILING PLAN
1/8" = 1'-0"

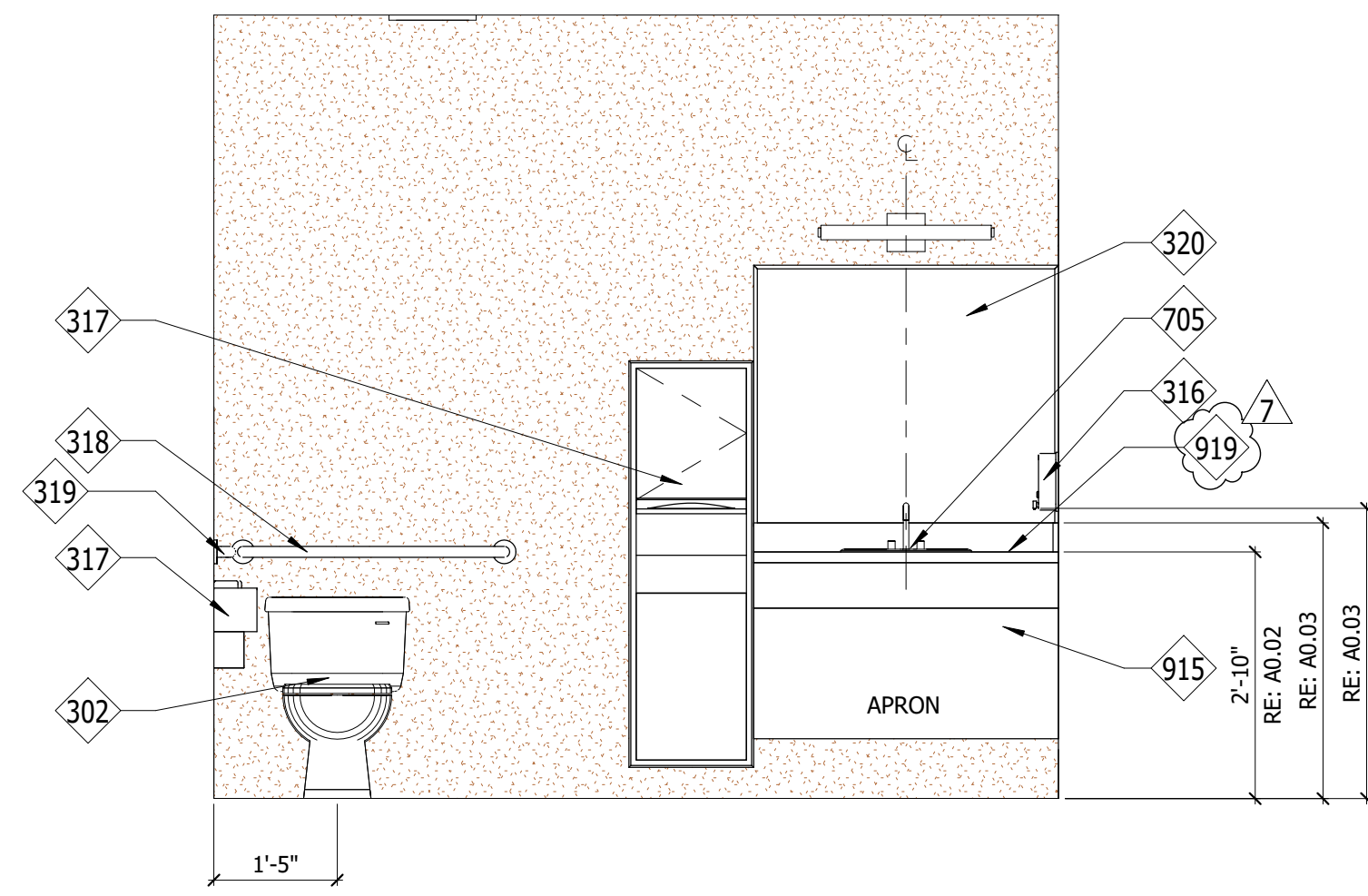
| <p>ENGINEERING · PLANNING · SURVEYING</p> <p>201 E. Hobsonway Bythe CA 92225 (760) 922-4658</p> <p>1601 N. Imperial Ave. EJ Carino, CA 92243 (760) 337-3883</p> <p>36951 Cook Street Palm Desert CA 92211 (760) 427-8533</p> | <table border="1"> <thead> <tr> <th>NO.</th> <th>REVISIONS:</th> <th>APPROVED</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>75% REVIEW SET</td> <td></td> <td>2022/02/18</td> </tr> <tr> <td>2</td> <td>100% REVIEW SET</td> <td></td> <td>2022/03/14</td> </tr> <tr> <td>3</td> <td>IFP SET</td> <td></td> <td>2022/03/29</td> </tr> <tr> <td>6</td> <td>PERMIT REV 3</td> <td></td> <td>2022/09/06</td> </tr> <tr> <td>7</td> <td>RFT REV. 1</td> <td></td> <td>2022/10/25</td> </tr> </tbody> </table> | NO. | REVISIONS: | APPROVED | DATE | 1 | 75% REVIEW SET | | 2022/02/18 | 2 | 100% REVIEW SET | | 2022/03/14 | 3 | IFP SET | | 2022/03/29 | 6 | PERMIT REV 3 | | 2022/09/06 | 7 | RFT REV. 1 | | 2022/10/25 | <table border="1"> <tr> <td>DESIGN BY:</td> <td></td> </tr> <tr> <td>DRAWN BY:</td> <td>LMH</td> </tr> <tr> <td>CHECKED BY:</td> <td>NEB</td> </tr> </table> | DESIGN BY: | | DRAWN BY: | LMH | CHECKED BY: | NEB | | <p>PREPARED UNDER THE DIRECT SUPERVISION OF:</p> <p></p> <p>TIMOTHY M. HOLT, A.I.A.</p> <p>07/08/2022 DATE</p> | <p>PROJECT TITLE:</p> <p>SEELEY FIRE STATION & COOLING CENTER</p> <p>SHEET CONTENT:</p> <p>REFLECTED CEILING PLAN</p> | <p>SHEET A4.00</p> <p>OF _____ SHEETS</p> <p>JOB NO. 1509-00</p> |
|--|---|---|------------|----------|------|---|----------------|--|------------|---|-----------------|--|------------|---|---------|--|------------|---|--------------|--|------------|---|------------|--|------------|--|------------|--|-----------|-----|-------------|-----|--|--|---|---|
| | NO. | REVISIONS: | APPROVED | DATE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 1 | 75% REVIEW SET | | 2022/02/18 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 2 | 100% REVIEW SET | | 2022/03/14 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 3 | IFP SET | | 2022/03/29 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 6 | PERMIT REV 3 | | 2022/09/06 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 7 | RFT REV. 1 | | 2022/10/25 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| DESIGN BY: | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| DRAWN BY: | LMH | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CHECKED BY: | NEB | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>UNAUTHORIZED CHANGES & USES: The architect preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.</p> | | <p>12576 REGISTRATION NUMBER</p> <p>05 - 31 - 2023 EXPIRATION</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

| KEYNOTES | |
|----------|--|
| 302 | PROVIDE NEW ADA COMPLIANT FLOOR MOUNTED TANK TOILET RE-MEP |
| 307 | PROVIDE NEW ADA COMPLIANT PRE-FABRICATED ROLL-IN TYPE FIBERGLASS SHOWER COMPARTMENT WITH INTEGRATED BENCH, GRAB BARS, AND SPRAY HANDLE - RE-MEP - MUST COMPLY WITH CBC 11B-608.2.2 |
| 315 | PROVIDE ADA COMPLIANT CHANGING BENCH 48" LONG X 22" DEEP X 18" HIGH WITH BACK SUPPORT MINIMUM 18 INCH HIGH ABOVE SEAT AND 2.5 INCH MAX FROM REAR EDGE OF THE SEAT |
| 316 | PROVIDE NEW SOAP DISPENSER |
| 317 | PROVIDE RECESSED COMBINATION PAPER TOWEL DISPENSER & WASTE RECEPTACLE |
| 318 | PROVIDE NEW 36" ADA GRAB BAR - BRACE WALL AS NECESSARY |
| 319 | PROVIDE NEW 42" ADA GRAB BAR - BRACE WALL AS NECESSARY |
| 320 | PROVIDE NEW 42"Wx36"H POLISHED PLATE GLASS MIRROR WITH STAINLESS STEEL FRAME |
| 321 | PROVIDE NEW TWO-TIER, 24"Wx20"Dx72"H GEARGRID FIRE STORAGE LOCKERS - FINISH: RED BARON - PROVIDE (2)X BLOCKING FOR WALL LOCKER MOUNTS. PROVIDE SIMPSON WBAC CONNECTOR FROM BLOCKING TO STUDS. ATTACH LOCKER WALL MOUNT BRACKETS TOP AND BOTTOM AT 24" OC WITH 3/8" DIAMETER X2 1/2" LAG SCREWS |
| 338 | DOOR STOP - RE: DOOR SCHEDULE |
| 356 | PROVIDE ADA COMPLIANT BABY CHANGING STATION - BRACE WALL AS NECESSARY |
| 703 | PROVIDE QTZ-1 COUNTER TOP 4'-0" WIDE 24" DEEP 34" HIGH WITH 4" BACKSLASH AND DROP IN SINK WITH ADA COMPLIANT PL-2 APRON - BRACE AS NECESSARY |
| 705 | PROVIDE QTZ-1 COUNTER TOP 3'-6" WIDE 24" DEEP 34" HIGH WITH 4" BACKSLASH AND DROP IN SINK WITH ADA COMPLIANT PL-2 APRON - BRACE AS NECESSARY |
| 915 | PL-2: PLASTIC LAMINATE COUNTERTOPS - RE: FINISH MATERIALS SCHEDULE |
| 919 | QTZ-1: QUARTZ COUNTERTOP - RE: FINISH MATERIALS SCHEDULE |

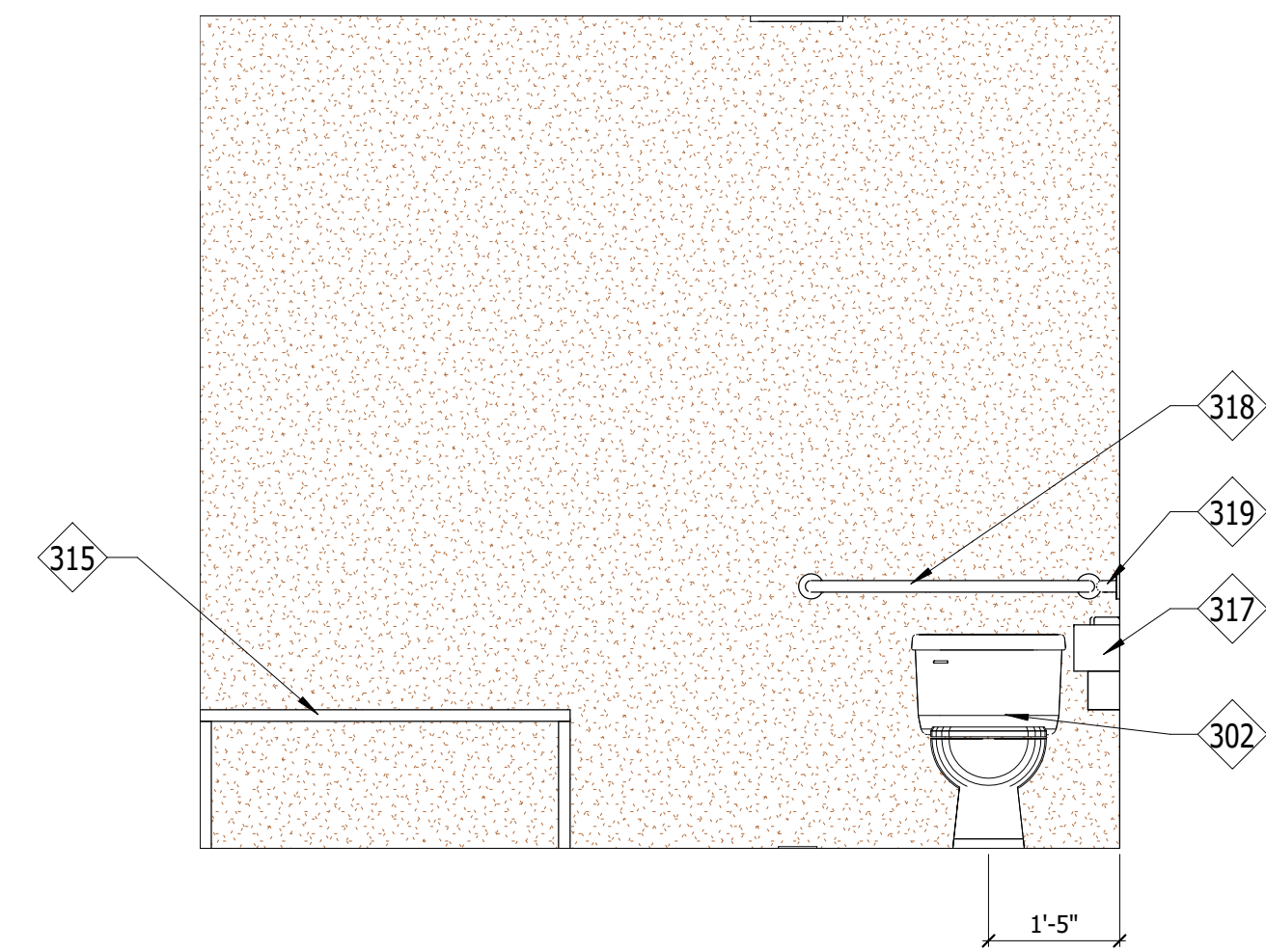
ADA COMPLIANCE NOTES
REFER TO SHEETS A0.02 - A0.05 FOR ALL ACCESSIBILITY STANDARD REQUIREMENTS, INCLUDING BUT NOT LIMITED TO:
OPERABLE PART MOUNTING HEIGHTS, REACH RANGES, PROTRUDING OBJECTS, CHANGES IN LEVEL, ETC...



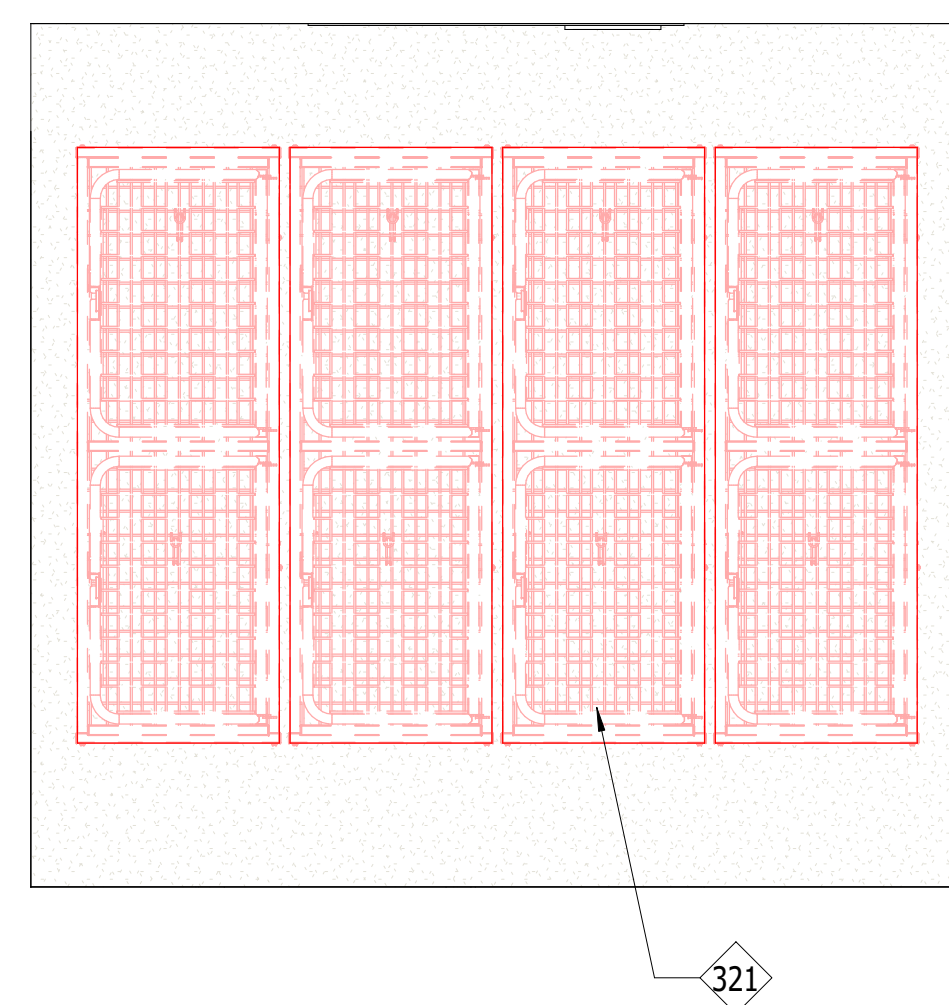
14 UNI-SEX R/R 113 - EAST ELEV.
1/2" = 1'-0"



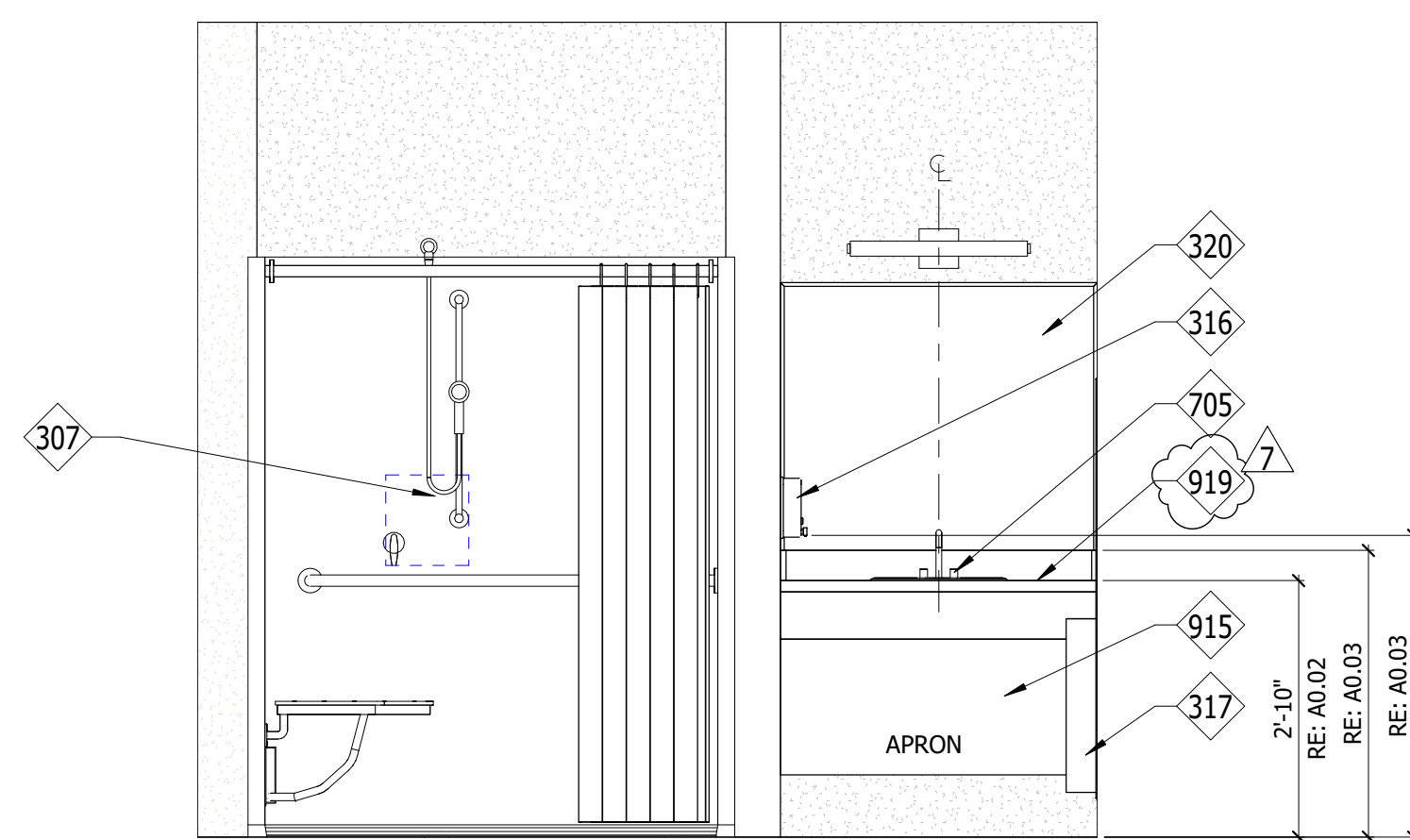
10 UNI-SEX R/R 113 - WEST ELEV.
1/2" = 1'-0"



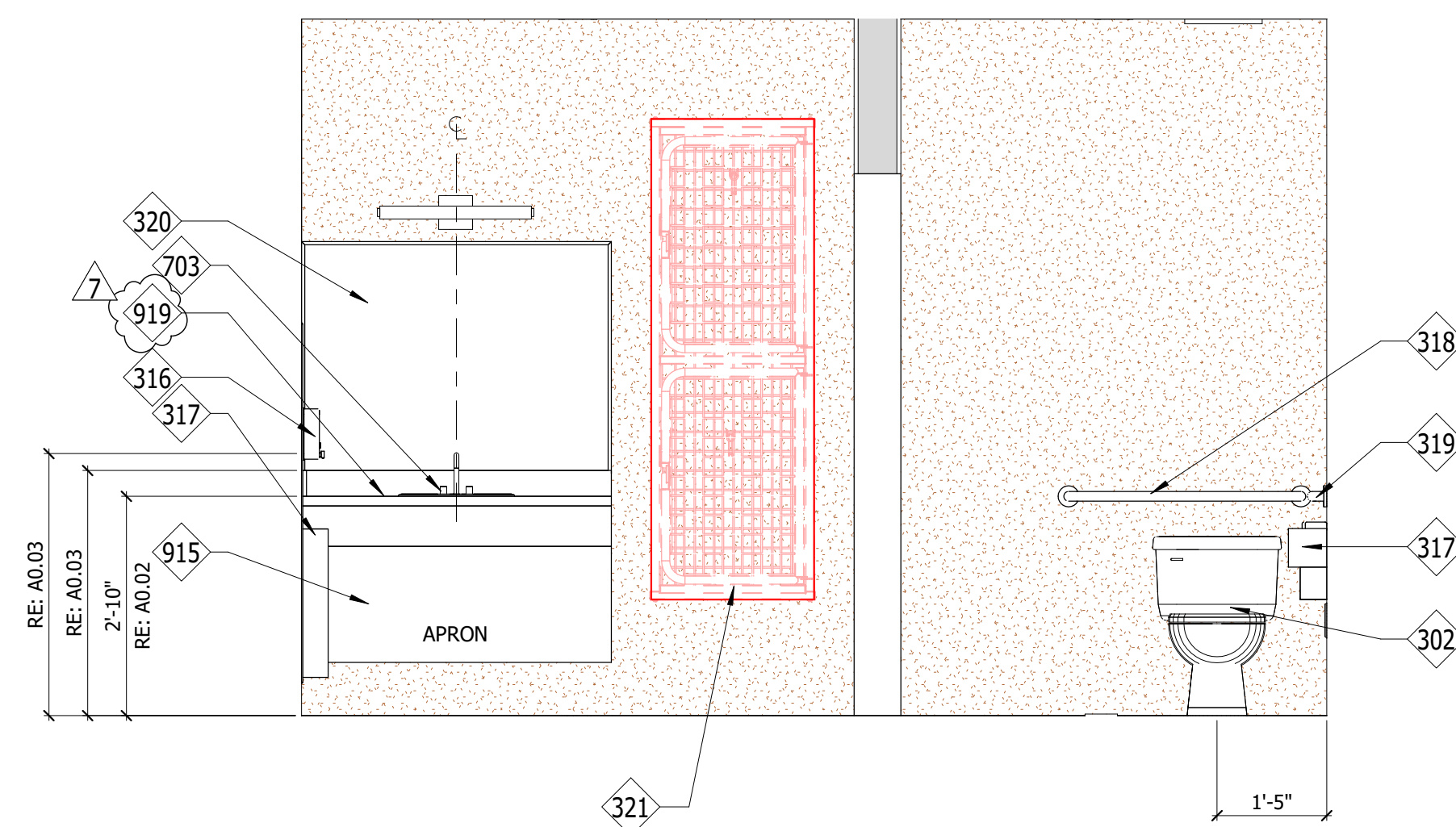
06 UNI-SEX R/R 114 - NORTH ELEV.
1/2" = 1'-0"



13 LOCKERS 112 - WEST ELEV.
1/2" = 1'-0"



09 UNI-SEX R/R 114 - SOUTH ELEV.
1/2" = 1'-0"



05 WASHROOM 110 - EAST ELEV.
1/2" = 1'-0"

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1601 N. Imperial Ave. Es. Carlsbad, CA 92243 (760) 337-3883
36951 Cook Street Palm Desert CA 92211 (760) 427-8533

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| 3 | IFP SET | | 2022/03/29 |
| 4 | PERMIT REV 1 | | 2022/07/08 |
| 7 | RFT REV. 1 | | 2022/10/25 |

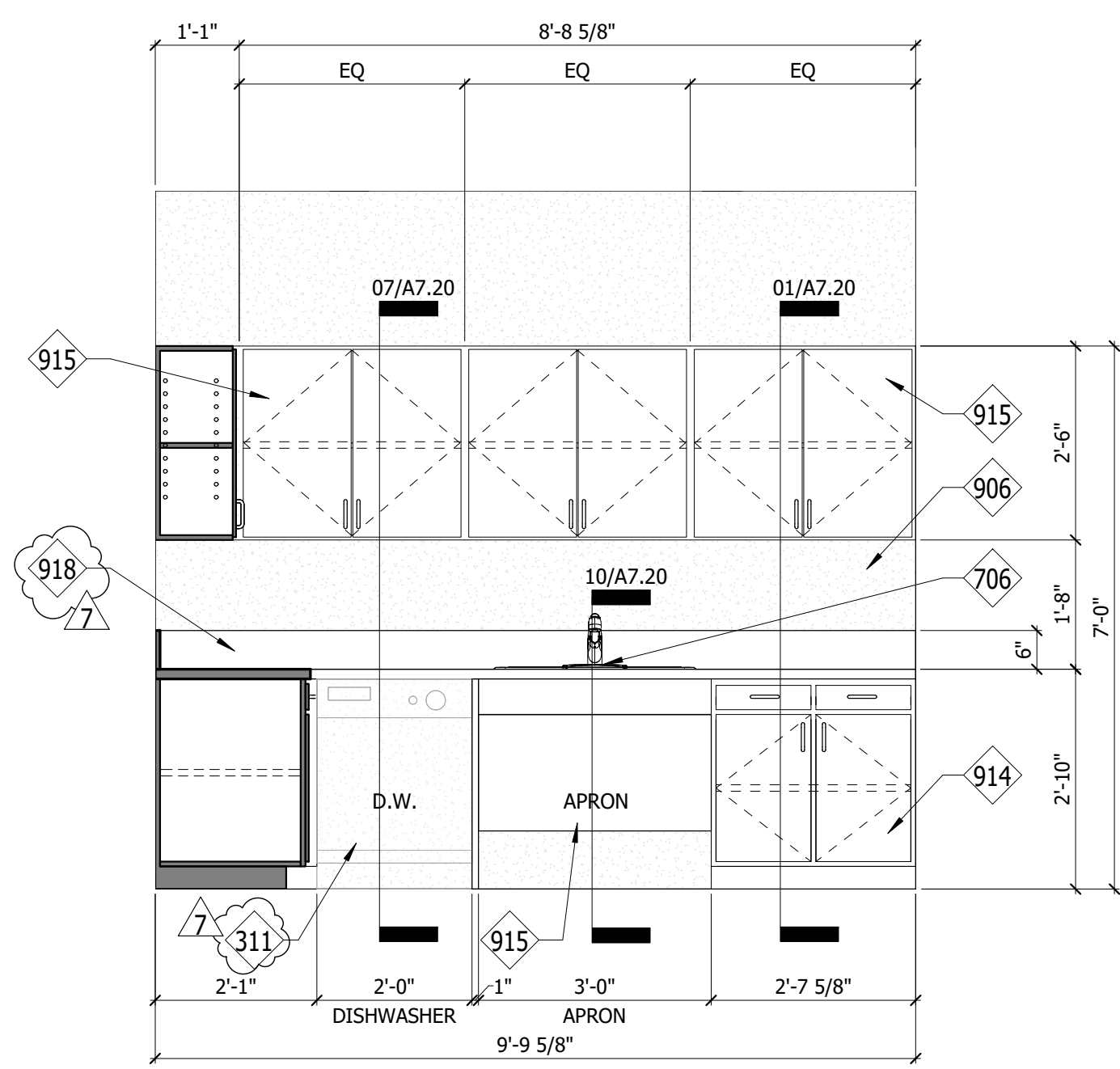
UNAUTHORIZED CHANGES & USES: The architect preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

DESIGN BY:
DRAWN BY:
LMH
CHECKED BY:
NEB

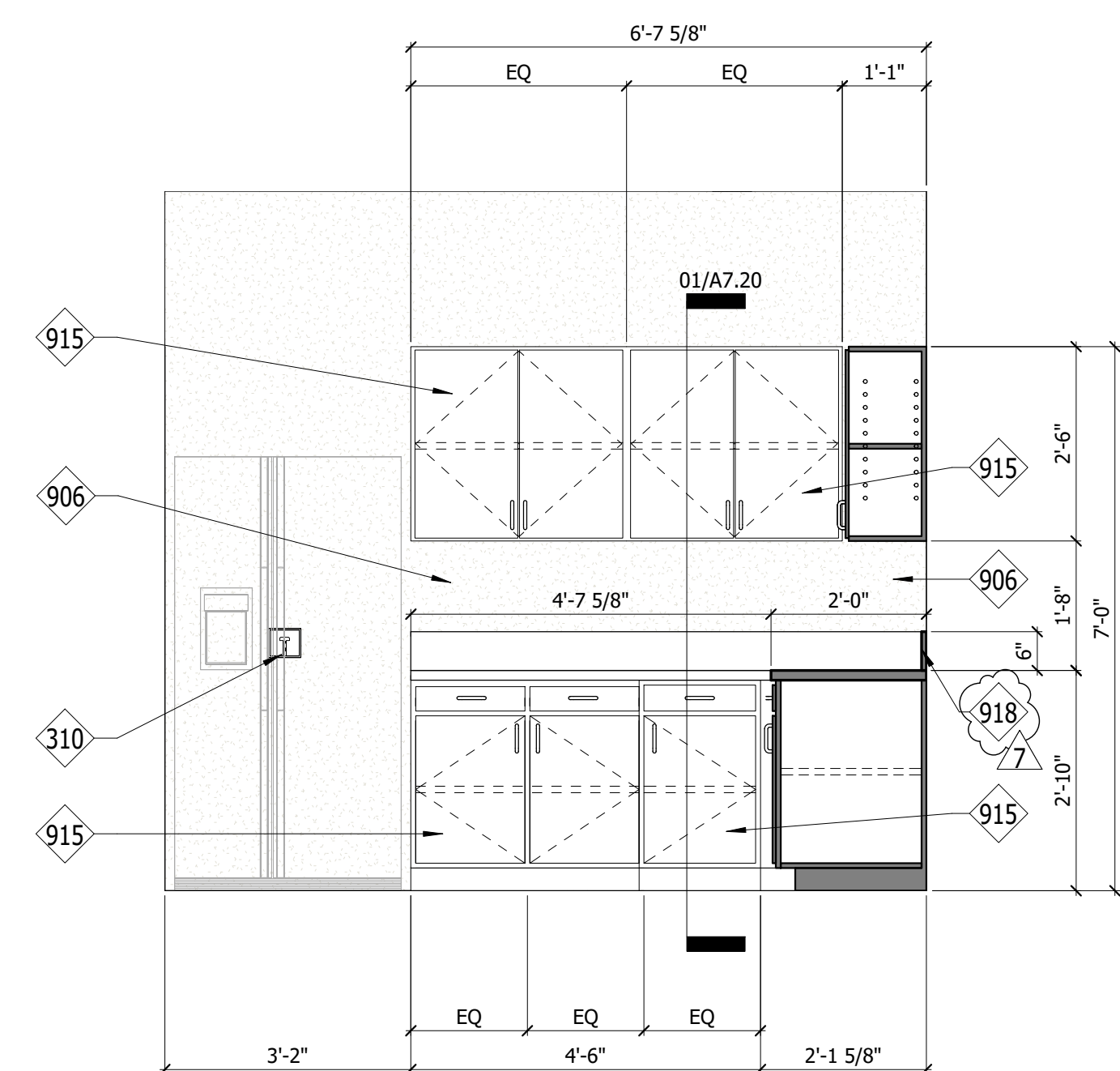


PREPARED UNDER THE DIRECT SUPERVISION OF:
Timothy M. Holt
TIMOTHY M. HOLT, A.I.A.
07/08/2022
DATE

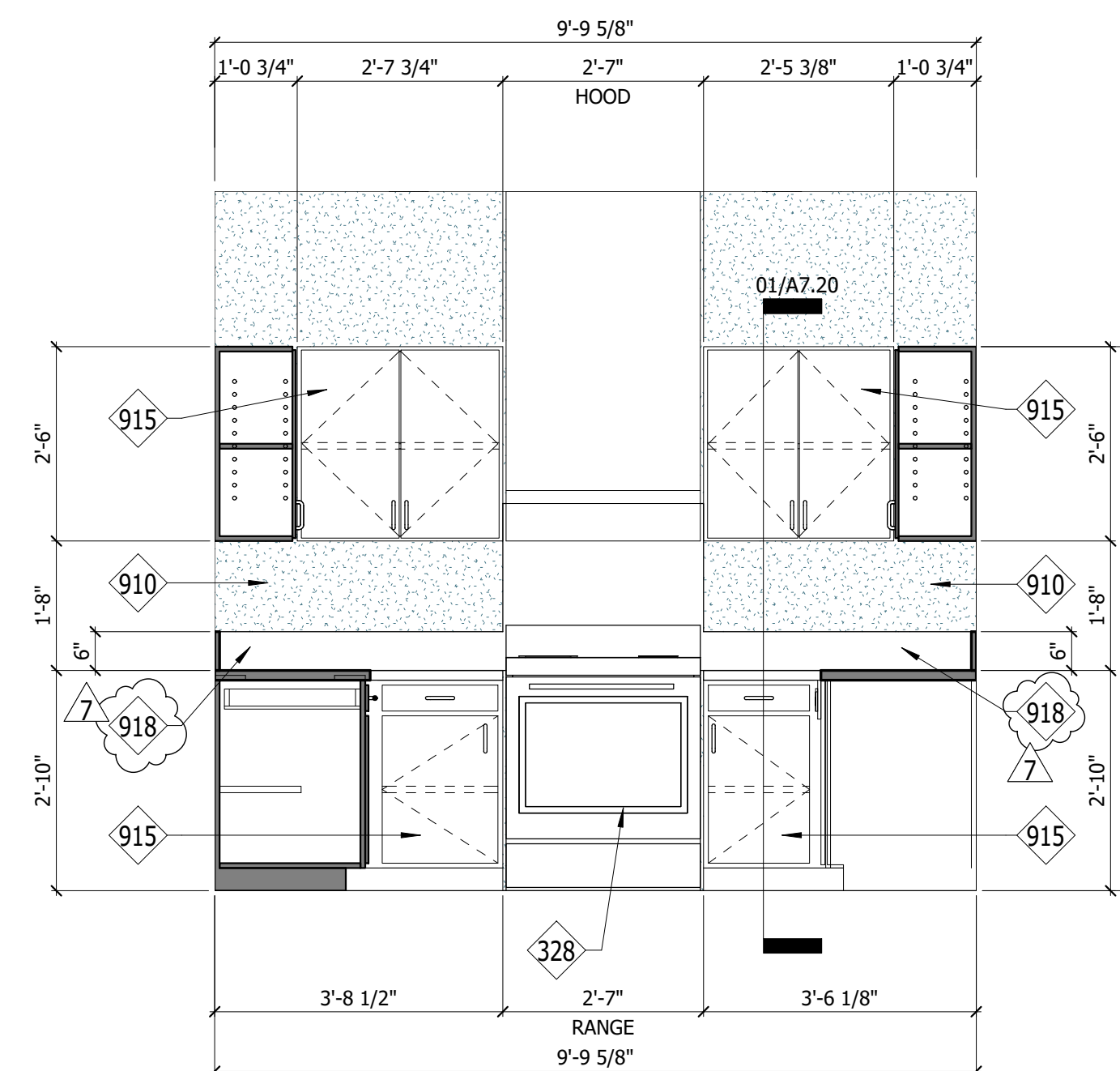
| | |
|---|--------------------|
| PROJECT TITLE: SEELEY FIRE STATION & COOLING CENTER | SHEET A7.00 |
| SHEET CONTENT: INTERIOR ELEVATIONS | OF SHEETS |
| 12576 REGISTRATION NUMBER 05 - 31 - 2023 EXPIRATION | JOB NO. 1509-00 |



16 KITCHEN 105 - NORTH ELEV.
1/2" = 1'-0"

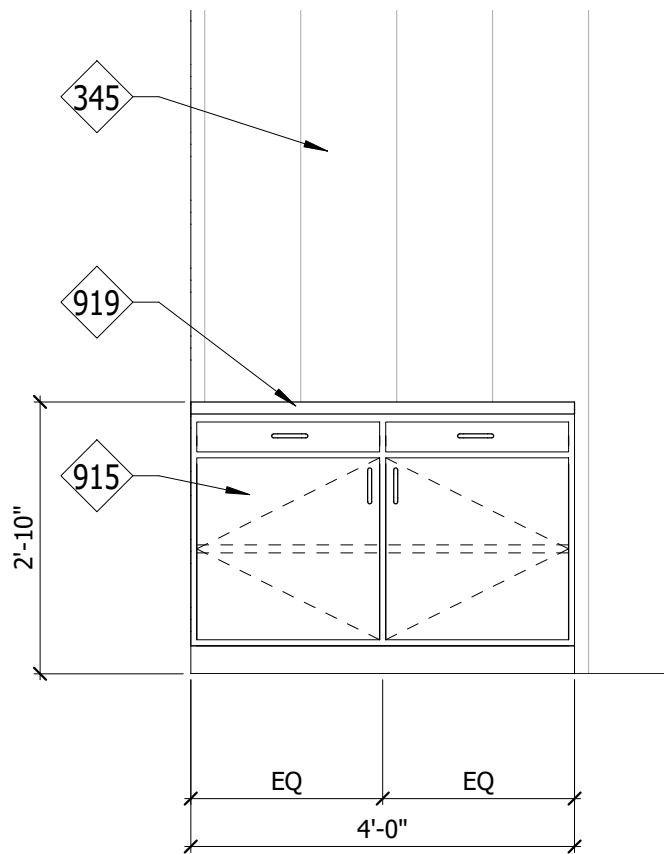


12 KITCHEN 105 - SOUTH ELEV.
1/2" = 1'-0"

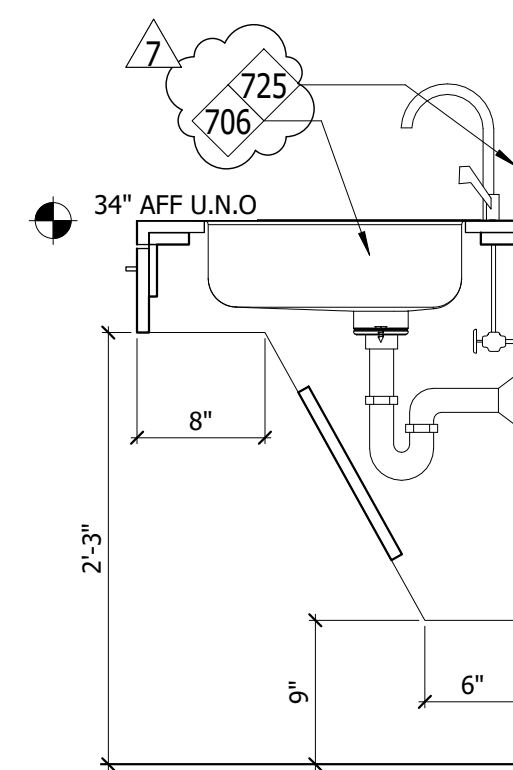


08 KITCHEN 105 - WEST ELEV.
1/2" = 1'-0"

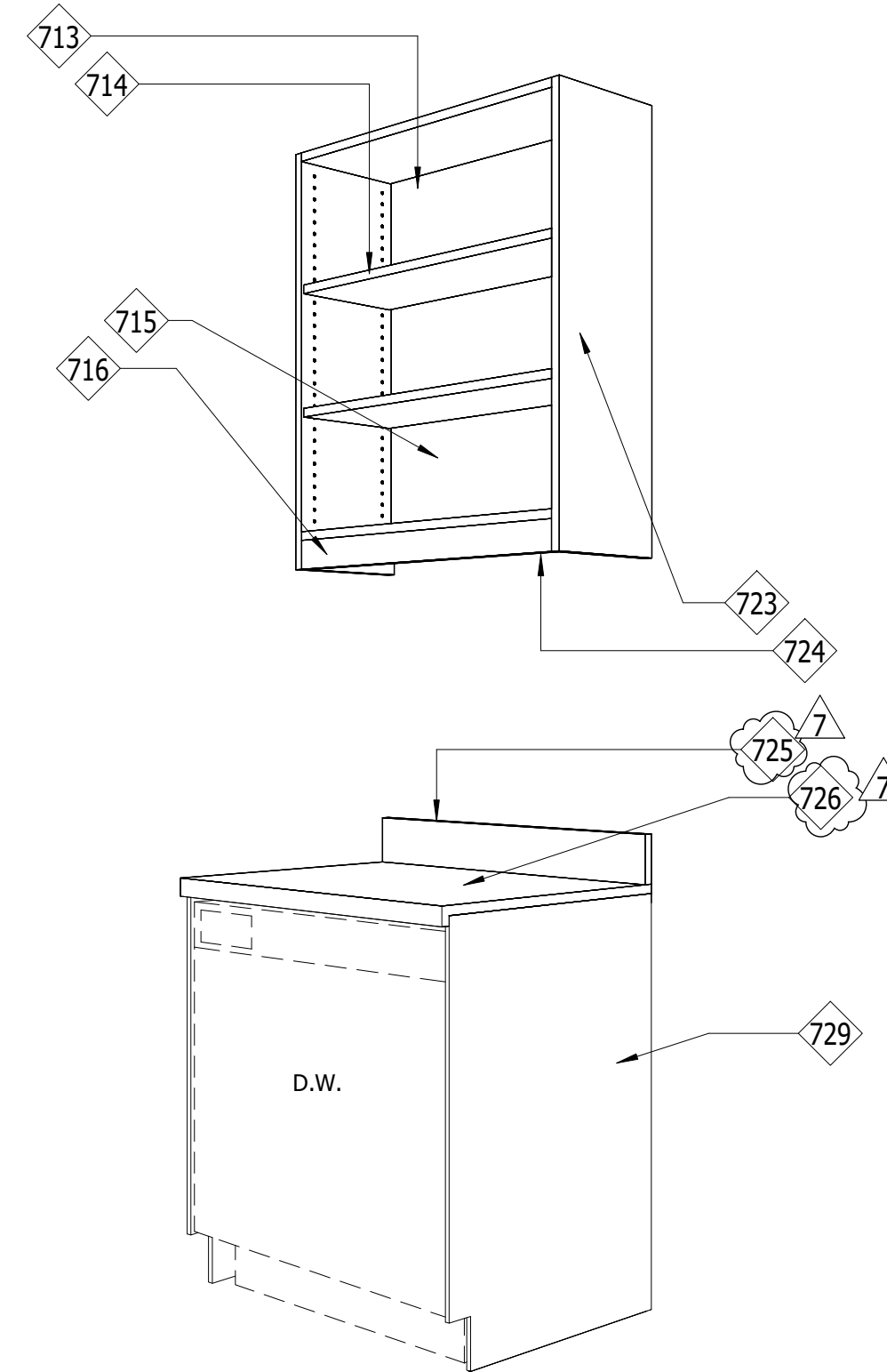
| KEYNOTES | |
|----------|---|
| 310 | PROVIDE WATER CONNECTION AND REFRIGERATOR |
| 311 | PROVIDE WATER CONNECTION FOR DISHWASHER & PROVIDE DISHWASHER |
| 328 | PROVIDED RANGE AND VENT HOOD AND PROPER CONNECTIONS - RE:MEP |
| 345 | LINER PANEL TO ROOF - RE: FINISH MATERIALS SCHEDULE |
| 706 | PROVIDE STAINLESS STEEL DOUBLE COMPARTMENT SINK WITH FAUCET & ADA COMPLIANT PL-2 APRON |
| 713 | CABINET BACK: 1/2" PARTICLE BOARD ONSET BACKS |
| 714 | SHELF EDGE: EXTRUDED PVC EDGE BAND |
| 715 | INTERIOR OF CABINET: PVC LAMINATE |
| 716 | 2-1/2" VALANCE: REFER TO ELEVATIONS FOR LIGHTING LOCATIONS |
| 717 | DOOR & DRAWER PULL: REFER TO HARDWARE ACCESSORIES |
| 718 | INTERIOR OF CLOSED CABINET: THERMALLY FUSED MELAMINE; COLOR: WHITE |
| 719 | POLYURETHANE DOOR BUMPERS; 3/8" DIAMETER X 1/8" THICK; CLEAR |
| 720 | HINGE: REFER TO HARDWARE ACCESSORIES |
| 721 | BODY FRONT EDGING, 1MM PVC LAMINATE |
| 722 | TOE KICK: 4" HIGH X 3" DEEP; PVC LAMINATE AT ALL EXPOSED AREAS |
| 723 | EXPOSED ENDS: PLASTIC LAMINATE |
| 724 | WALL UNIT BOTTOM: PLASTIC LAMINATE |
| 725 | 6" HIGH BACKSPLASH WHERE SHOWN ON ELEVATIONS - MATCH COUNTERTOP FINISH |
| 726 | COUNTERTOP: SS-1 |
| 727 | FULL SUBTOP |
| 728 | CABINET CORE MATERIAL: 3/4" PARTICLE BOARD |
| 729 | FACE EXTERIOR SURFACE MATERIAL: PLASTIC LAMINATE |
| 730 | SUBBASE: WATER-RESISTANT, EXTERIOR GRADE PLYWOOD, LADDER-TYPE SYSTEM |
| 731 | DRAWER SLIDES: REFER TO HARDWARE ACCESSORIES |
| 732 | DRAWER EDGE: 3MM EXTRUDED PVC, FLAT SHAPED, SMOOTH FINISH; PRODUCT: EDGE CO INC.; COLOR: MATCH LAMINATE MATERIAL COLOR AND WOOD GRAIN |
| 733 | PLAM ADJUST SHELF |
| 734 | SCHED FINISH ON 3/4" SUBSTRATE RE: ELEV |
| 735 | PLAM INTERIOR FINISH ALL SURFACES |
| 737 | WIRE GROMMET IF NOTED ON PLAN AND INTERIOR ELEVATIONS |
| 739 | REDUCED DRAWER DEPTH AT OUTLET LOCATION |
| 740 | SCHED FINISH ON 3/4" SUBSTRATE RE: ELEV |
| 741 | ELECTRICAL OUTLET IF NOTED ON INTERIOR ELEVATIONS |
| 742 | PLAM INTERIOR FINISH ALL SURFACES |
| 906 | PTD-1: PAINT - RE: FINISH MATERIALS SCHEDULE |
| 910 | PTD-5: PAINT - RE: FINISH MATERIALS SCHEDULE |
| 914 | PL-1: PLASTIC LAMINATE CABINET FRONTS - RE: FINISH MATERIALS SCHEDULE |
| 915 | PL-2: PLASTIC LAMINATE COUNTERTOPS - RE: FINISH MATERIALS SCHEDULE |
| 918 | SS-1: STAINLESS STEEL COUNTERTOP WITH MATCHING 6" BACKSPLASH, TYP. AROUND ALL COUNTERTOPS - RE: FINISH MATERIALS SCHEDULE |
| 919 | QTZ-1: QUARTZ COUNTERTOP - RE: FINISH MATERIALS SCHEDULE |



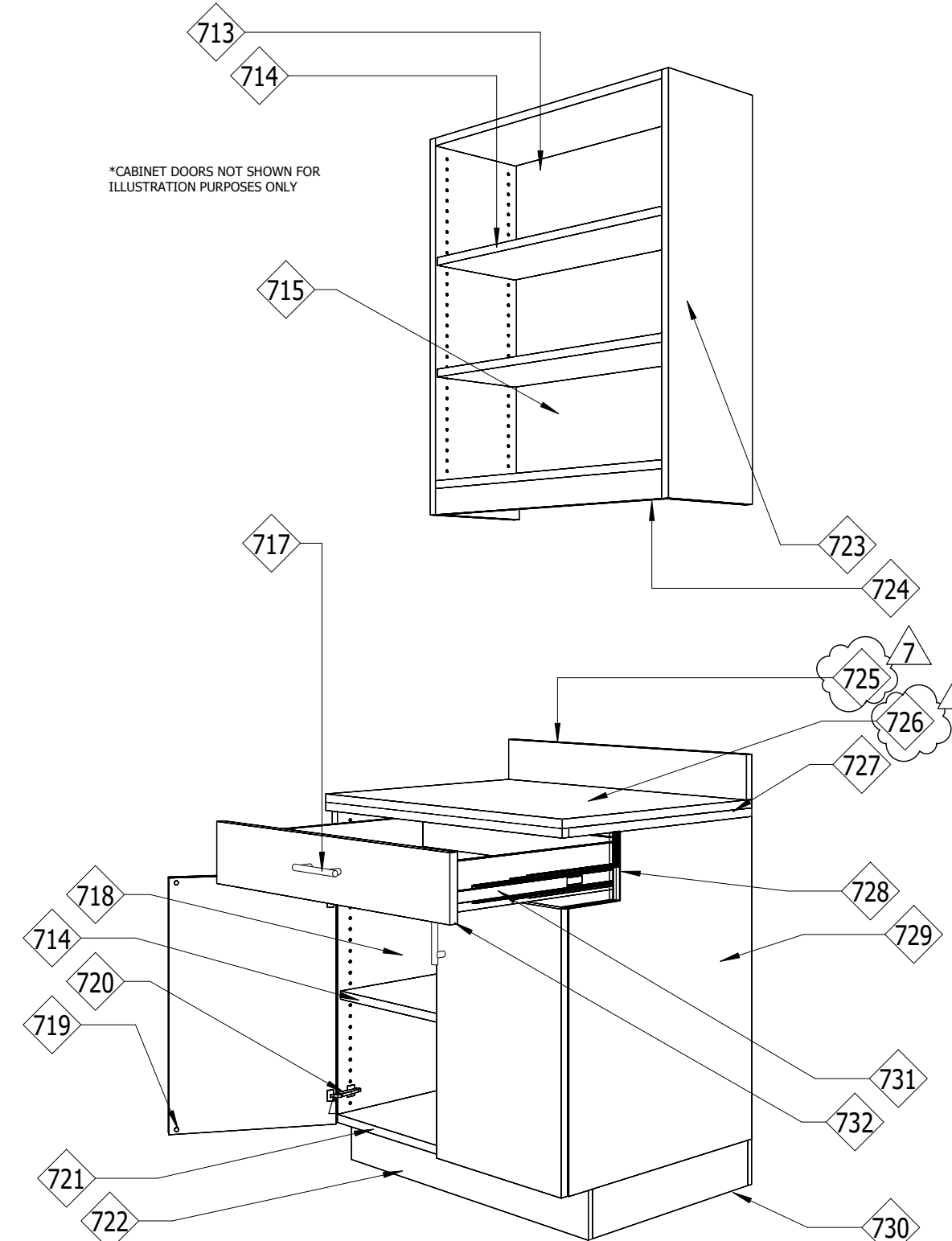
13 APPARATUS - SOUTH ELEV.
1/2" = 1'-0"



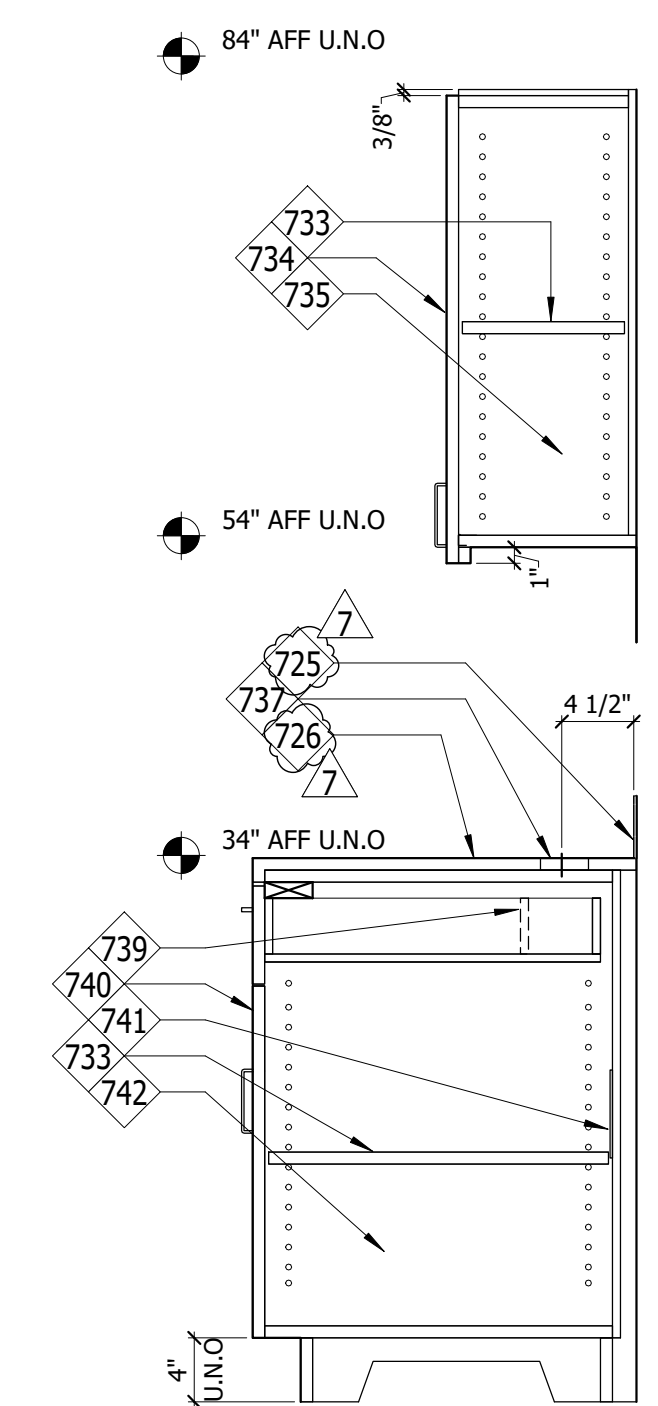
10 SINK DETAIL
1" = 1'-0"



07 ARCH. CASEWORK DETAIL - D.W.
3/16" = 1'-0"



05 ARCH. CASEWORK DETAIL - TYP.
3/16" = 1'-0"



01 CABINET DETAILS
1" = 1'-0"

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EJ Centro, CA 92243
(760) 337-3883

36951 Cook Street
Palm Desert CA 92211
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| NO. | REVISIONS: | APPROVED | DATE |
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| | |
|-------------|-----|
| DESIGN BY: | |
| DRAWN BY: | LMH |
| CHECKED BY: | NEB |

EXPERIENCED ARCHITECT
TIMOTHY M. HOLT
MAY 2023 RENEWAL DATE
STATE OF CALIFORNIA

PREPARED UNDER THE DIRECT SUPERVISION OF:

Timothy M. Holt
TIMOTHY M. HOLT, A.I.A.

12576
REGISTRATION NUMBER
05 - 31 - 2023
EXPIRATION

07/08/2022
DATE

PROJECT TITLE:
SEELEY FIRE STATION & COOLING CENTER

SHEET CONTENT:
MILLWORK DETAILS

SHEET
A7.20

OF SHEETS

JOB NO.
1509-00

PART 4 – SUBSTITUTION REQUEST

4.1 SUBSTITUTION REQUEST FORM

- A. The following Substitution Request Form shall be completed by Contractor and submitted to A/E for review of equipment or materials prior to bid
- B. Review of the substitution request form is only for general conformance with the design concept of the project and general compliance with the information given in the contract documents. Any action shown is subject to the requirements of the plans and specifications. Contractor is responsible for: dimensions which shall be confirmed and correlated at the job site, fabrication processes and techniques of construction, coordination of their work with that of all other trades, and the satisfactory performance of the work.

PROJECT: Seeley Fire Station □ Coolin□ Center

SPECIFIED ITEM: □ enerac Diesel En□ine Driven □ enerator Set

PROPOSED SUBSTITUTION: Cater□illar Diesel En□ine Driven □ enerator Set

Attached data includes product description, specifications, drawings, photographs, performance and test data adequate for evaluation of the request; applicable portions of the data are clearly identified. Attached data also includes a description of changes to Contract Documents that the proposed substitution will require for its proper installation.

The undersigned certifies that the following paragraphs, unless modified by attachments, are correct:

- 1. The proposed substitution does not affect dimensions shown on Drawings.
- 2. The undersigned will pay for changes to the project design, including engineering design, detailing and construction costs caused by the requested substitution.
- 3. The proposed substitution will have no adverse affect on other trades, the construction schedule, or specified warranty requirements.
- 4. Maintenance and service parts will be locally available for the proposed substitution.
- 5. The undersigned further certifies that the performance, capacity, function, appearance and quality of the proposed substitution are equivalent or superior to the specified item.

The undersigned agrees that, if this page is reproduced, the terms and conditions for substitutions found in the Bidding Documents apply to this request.

Submitted by:
Tommy Rea
Name
Tommy Rea
Signature
Five Star Electric
Firm Name
903 Industry Way,
Address
El Centro, CA
City, State, Zip
11/07/22
Date
(760) 370-5556
Telephone Fax

General Contractor (if after award of contract)

| | |
|---|--|
| For use by the A/E | |
| <input type="checkbox"/> No Exception Taken | <input type="checkbox"/> Exception Taken, Revise as noted. |
| <input type="checkbox"/> Request Denied | <input type="checkbox"/> Document not submitted per the Contract Documents |
| By _____ | |
| Date _____ | |
| Remarks _____ | |



Current Date: November 3, 2022
Quotation Number: SM22_31130981_1
Quotation Expires: December 3, 2022

SEELEY FIRE STATION & COOLING CENTER PROJECT

In accordance with your request, we are pleased to submit the following proposal for the above-mentioned project. Empire Power Systems proposes to furnish this equipment at the attached quoted price.

This proposal meets the functional intent of the specification and the one line electrical design provided with any exceptions noted in the body of the attached quote.

We will arrange for initial start-up services at no additional charge. These services include an onsite installation and operational inspection of the equipment supplied by Empire Power Systems. A summary of our basic start up scope of work is included in the attached quote document.

The initial diesel fuel required for first fill, start-up services and testing is not included in this proposal.

Empire Power Systems is the local Caterpillar Dealer for Arizona and Southeastern CA and have local facilities to serve this project and end user. Our local facility is within a short radius of the project and we have journeyman technicians in fully equipped service trucks on call 24/7/365 along with full parts department, service, sales & rental departments in the local area.

Thank you for the opportunity to provide the attached quote. Empire Power Systems remains at your disposal for any additional information or assistance that you may require.

Sincerely yours,

Steve Maddox

Empire Power Systems
(520) 907-3106 Office
(520) 955-3106 Mobile
steve.maddox@empire-cat.com



| QTY | Description |
|-----|---|
| 1 | Caterpillar D100-1, 100kW, 20kV, Dual Circuit Breakers, SA Enclosure, 62-gallon Sub-Base Fuel Tank (At 75% load), Emergency Standby Generator W/ 5-Year Platinum ESC (Per spec) - See Consist Below |
| 1 | 1.9 Warranty - 5-Year Manufacture Warranty Per spec |
| 1 | ATS-1 - Eaton Automatic Transfer Switch - 100A, 120/20kV, 3 Pole, 1 Wire, NEMA 1 Enclosure - See Consist Below |
| 1 | ATS-2 - Eaton Automatic Transfer Switch - 10A, 120/20kV, 3 Pole, 1 Wire, NEMA 1 Enclosure - See Consist Below |
| 1 | ATS Remote Annunciator |
| 1 | 1.10 – 12 Month MAINTENANCE SERVICE PER SPEC |
| 1 | 3.6 – 36 Month MAINTENANCE SERVICE PER SPEC |
| | TOTAL |
| | OPTIONAL OFFERINGS |
| 1 | ATS-1 - Eaton Automatic Transfer Switch - 100A, 120/20kV, 3 Pole, 1 Wire, NEMA 1 Enclosure, By-Pass Isolation |
| 1 | ATS-2 - Eaton Automatic Transfer Switch - 10A, 120/20kV, 3 Pole, 1 Wire, NEMA 1 Enclosure, By-Pass Isolation |

NOTE: TAX AND INSTALLATION NOT INCLUDED

Lead time Diesel - Current estimated lead time running 36-39 weeks ARO and approved submittals
 Lead time ATS - Current estimated lead time running 36-40 weeks ARO and approved submittals

5-Year Caterpillar Platinum Extended Service Coverage \$ Included

- We are pleased to offer an Extended Service Coverage (ESC) plan which offers coverage on your new Caterpillar product beyond the Standard Warranty period. ESC offers protection against unexpected repair bills and a hedge against rising parts and labor costs by providing parts and labor for covered components for 5-years or 2500 hours of operation for Diesel.

1-Year Customer Support Agreement

- We are pleased to offer a Customer Support Agreement (CSA) plan which provides for routine maintenance on your new Caterpillar power product for the first year. On a quarterly basis Empire will complete a comprehensive system inspection of your power system equipment. Also included is the first year oil and filter replacement service inclusive of on-line oil and coolant samples submitted for laboratory analysis. You will be provided with complete documentation of all results and services performed.

Clarifications, Deviations, & Exceptions:

- General exception is taken to any other specifications or drawings not available at time of quotation. Equipment supplied will be limited to that described in this proposal.



2. 2.2 D – Engine Exhaust Emissions – Offered EPA Emergency Standby Compliant Tier 3 Inset Package per EC. No Tier 3 Final equipment offered in pricing above.
3. Exception - Offered standard factory tank offering 9 hours run at full load. Custom tank would need to be packaged on unit increasing cost and lead time. Fuel tank offering 62 hour run time @ 75% load.
 - Maintenance Service was in the specification 2 times for a total of 5 years. Both are included in pricing section. Deduct if not needed.
5. Installation not included.
6. Engineering, drawings & permitting not included.
7. Owner or others to fill and top off fuel tank after testing.
 - Due to unknown potential volatility in the commodity markets, price adjustment may be necessary if award is not made within our quote expiration date.
9. Equipment loading and rigging not included.
10. Rental equipment for backup site support not included. If required, can offer rental pricing per project specs.
11. Short circuit & coordination study, arc flash study, relay testing and setting, NETA and conductor insulation resistance tests & infrared scanning to be performed by EC or others.
12. All permits & fees, including Local County Environmental Department Air Quality Permit to be secured and paid by others. Empire will supply engine / Inset information required for permit.

Bill of Materials Packaged Generator Set
Freight is included FOB truck job site, Seeley, CA

| Feature | Qty | Description |
|----------|-----|---------------------------------|
| CERTESE | 1 | EPA STATIONARY EMERGENCY |
| VO610 | 1 | 6003 20/120V VO610 |
| STANDBY | 1 | STANDBY POWER |
| KW00100 | 1 | 60 @ 100 kW |
| NAC21 | 1 | D100-600 20V |
| LANEN C | 1 | ENGLISH PANEL LAN |
| LLIST | 1 | UL 2200 LISTED PACKAGE IN SET |
| IBCSCCA | 1 | IBC SEISMIC CERT OF COMPLIANCE |
| LANEN O | 1 | ENGLISH INSTRUCTION LAN |
| MSE | 1 | GENERAL |
| MSCEC77 | 1 | PUBLIC OR CIVIL SERVICES |
| MWCODE | 1 | EMERGENCY STANDBY POWER |
| A1 | 1 | ALT SPACE HEATER |
| ENT130 | 1 | 130C TEMP RISE OVER 0C AMB |
| ONSE6 | 1 | LC311F 60SE ALT 6 |
| MECI3 | 1 | PERMANENT MAINNET EXCITATION |
| FSBT | 1 | SKID WITH FUEL TANK |
| FSBTD | 1 | FUEL SUB-BASE TANK 39" ALLON |
| FFLCK | 1 | FUEL TANK FILL PIPE LOCK CAP |
| FSS | 1 | Fuel Level Alarms / SD |
| FFLEV | 1 | EMERGENCY FUEL VENT PIPE 1.5" |
| SATCBB | 1 | L1 SOUND ATTENUATED (WHITE) |
| CATREN | 1 | CAT WHITE |
| CAB | 1 | WIRING FOR CANOPY SPACE HEATER |
| EMC2B | 1 | EMC2B CONTROL PANEL |
| NFA | 1 | NFA BUNDLE |
| EMCSD1CS | 1 | DISCRETE I/O MODULE SLOTS LOOSE |
| STDBAT | 1 | STANDARD BATTERY |
| BC10N | 1 | NFA BATT CHARGER 10A 120VAC |
| W | 1 | WATER HEATER |
| NOCSB2 | 1 | NO EXTERNAL EMERGENCY STOP |
| VFRCON | 1 | VOLT FREE CONTACTS INSET RING |



| | | |
|----------|---|--------------------------------|
| WSS1 | 1 | LOW COOLANT LEVEL SHUTDOWN 1 |
| VIB | 1 | SEISMIC VIBRATION ISOLATOR (C) |
| WCA1 | 1 | LOW COOLANT TEMP ALARM |
| COB | 1 | CONTROL PANEL OPTIONS BOX |
| AA1 | 1 | PANEL MOUNTED AUDIBLE ALARM |
| ENOT | 1 | ENGINE OPTION WIRING |
| FCI | 1 | FCI AC RECEPTACLE WIRING |
| DAL | 1 | DIAL CIRCUIT BREAKER |
| CB00A | 1 | 00A 100A RATED BREAKER |
| CB0063A | 1 | 60A LSI 100A DIAL CIRCUIT BRK |
| STA01 | 1 | AUXILIARY CONTACTS |
| ACLSS01 | 1 | CARTRIDGE TYPE AIR FILTER |
| STDRAD | 1 | STANDARD RADIATOR |
| CAN | 1 | ENCLOSURE SILENCER |
| ANNR001S | 1 | TYPE REMOTE ANNUNCIATOR |
| ANNMB01S | 1 | ANNUNCIATOR BOX |
| EMST01S | 1 | REMOTE E-STOP BUTTON |
| LR | 1 | RODUCT LINK FOR LTE TELEMATICS |
| AM | 1 | AMERICAS BAND |
| TCVYES | 1 | ACCEPT - REVIEW LINK IN DESC |
| CCM0005S | 1 | CAN2 SERVICE CONNECTOR WIRING |
| STDTEST | 1 | STD TEST - KIT OPEN SET 0.0CF |
| TRSEN7 | 1 | MS TEST REPORT 0.0CF |

Bill of Materials Automatic Transfer Switch
 Freight is included FOB truck job site, Seeley, CA



| Item No. | Qty | Product | Description |
|----------|-----|---------|-------------|
|----------|-----|---------|-------------|

1 Automatic Transfer Switches
 Product Family Wall Mount
 Switch Type Automatic Contactor 0A thru 1600A
 20/120v, 60, 3 case, Wire, 3 poles
 Transition Mode Open
 Controller Type ATC-300
 Continuous Current 100 Amperes
 Withstand 50kA sc/30kA (0.05 sec)
 Normal Source Terminals (2) 1/0-250 OR (1) 1/0-750 C/AL
 Emergency Source Terminals (2) 1/0-250 OR (1) 1/0-750 C/AL
 Load Side Terminals (2) 1/0-250 OR (1) 1/0-750 C/AL
 Neutral Terminals (6) 250-500 C/AL

 Standard Features 1a, 2a, 3a, 4a, 5, 5k, 5l, 6b, 7a, 7c, 7d, 12c, 12d, 12, 12, 1, 1m, 15e, 15, 23k, 26d, 26, 26, 26k, 26l, 32, 35a, 2, 33
 Optional Features No Optional Features Selected
 State A

Catalog No ATC3C23000BS
Designation ATS-1

Qty List of Materials

- 1 ATC3C2 3 poles 100 Amperes
- 1 Enclosure - Type-1
- 1 1a. Time Delay Normal to Emergency Ad 0-100 sec
- 1 2a. Time Delay Engine Start Ad 0-120 sec
- 1 3a. Time Delay Emergency to Normal Ad 0-100 sec
- 1 4a. Time Delay Engine Cool-off Ad 0-100 sec
- 1 5. Emergency (S2) Sensing Case Reversal
- 1 5k. Emergency (S2) Sensing Under Voltage/Under Frequency
- 1 5l. Emergency (S2) Sensing Over Voltage/Over Frequency
- 1 5l. Emergency (S2) Sensing Voltage Imbalance
- 1 6b. Test Pushbutton
- 1 7a. Time Delay Engine Fail Ad 0-6 sec
- 1 7c. Time Delay Bypass Emergency to Normal
- 1 7d. Time Delay Bypass Normal to Emergency
- 1 12c. LED Indicator Normal Position
- 1 12d. LED Indicator Emergency Position
- 1 12. LED Indicator Normal Source Present
- 1 12. LED Indicator Emergency Source Present
- 1 1. Normal (S1) Source Present (2 Form C)
- 1 1m. Emergency (S2) Source Present (2 Form C)



- Qty List of Materials**
- 1 15e. Normal (S1) Position Indication (1 Form C Micro Switch Outputs)
 - 1 15 Emergency (S2) Position Indication (1 Form C Micro Switch Outputs)
 - 1 22. Round Bar
 - 1 23k. Auto Plant Exerciser 1/7/1/2 Day
 - 1 26d. To Source 2
 - 1 26 Normal (S1) Sensing Case Reversal
 - 1 26 Normal (S1) Sensing Under-voltage/Under-frequency
 - 1 26k. Normal (S1) Sensing Over-voltage/Over-frequency
 - 1 26l. Normal (S1) Sensing Voltage Imbalance
 - 1 32 In-Case Transition
 - 1 35a. Pre-transfer Signal Contacts (1 Form C)
 - 1 2. IBC/CBC Seismic Qualified
 - 1 3 MODBUS Communication

| Item No. | Qty | Product | Description |
|----------|-----|-----------------------------|--|
| | 1 | Automatic Transfer Switches | Product Family Wall Mount Switch Type Automatic Contactor 0A thru 1600A 20/120v, 60, 3 Case, Wire, 3 Poles Transition Mode Open Controller Type ATC-300 Continuous Current 0 Am Withstand 30kA sc/10kA (0.025 sec) Normal Source Terminals (1) 1-2/0 C/AL Emergency Source Terminals (1) 1-2/0 C/AL Load Side Terminals (1) 1-2/0 C/AL Neutral Terminals (3) 1-1/0 C/AL Standard Features 1a, 2a, 3a, 4a, 5, 5, 5k, 5l, 6b, 7a, 8c, 8d, 12c, 12d, 12, 12, 1, 1m, 15e, 15, 23k, 26d, 26, 26, 26k, 26l, 32, 35a, 2, 3 Optional Features No Optional Features Selected State A |

Catalog No ATC3C2300BS
Designation ATS-2

- Qty List of Materials**
- 1 ATC3C2 3 Poles 0 Am
 - 1 Enclosure - Type-1
 - 1 1a. Time Delay Normal to Emergency Ad 0-100 sec
 - 1 2a. Time Delay Engine Start Ad 0-120 sec
 - 1 3a. Time Delay Emergency to Normal Ad 0-100 sec

Qty List of Materials

- 1 1a. Time Delay Engine Cool-off Ad 0-100 sec
- 1 5j. Emergency (S2) Sensing Phase Reversal
- 1 5k. Emergency (S2) Sensing Under Voltage/Under Frequency
- 1 5l. Emergency (S2) Sensing Over Voltage/Over Frequency
- 1 5i. Emergency (S2) Sensing Voltage Imbalance
- 1 6b. Test Button
- 1 7a. Time Delay Engine Fail Ad 0-6 sec
- 1 1c. Time Delay Bypass Emergency to Normal
- 1 1d. Time Delay Bypass Normal to Emergency
- 1 12c. LED Indicator Normal Position
- 1 12d. LED Indicator Emergency Position
- 1 12e. LED Indicator Normal Source Present
- 1 12f. LED Indicator Emergency Source Present
- 1 1g. Normal (S1) Source Present (2 Form C)
- 1 1h. Emergency (S2) Source Present (2 Form C)
- 1 15e. Normal (S1) Position Indication (1 Form C Micro Switch Outputs)
- 1 15f. Emergency (S2) Position Indication (1 Form C Micro Switch Outputs)
- 1 22. Round Bar
- 1 23k. Auto Plant Exerciser 1/7/10/20 Day
- 1 26d. 10 To Source 2
- 1 26g. Normal (S1) Sensing Phase Reversal
- 1 26h. Normal (S1) Sensing Under-voltage/Under-frequency
- 1 26k. Normal (S1) Sensing Over-voltage/Over-frequency
- 1 26l. Normal (S1) Sensing Voltage Imbalance
- 1 32g. In-Phase Transition
- 1 35a. Pre-transfer Signal Contacts (1 Form C)
- 1 42. IBC/CBC Seismic Qualified
- 1 43. MODBUS Communication

Basic Packaged Generator Set Start up includes:

All work to be performed during regular business hours, 7:00 a.m. to 4:00 p.m. Monday – Friday.

- Check up batteries
- Visually inspect unit for damage or missing parts
- Check Fluid levels
- Check up auto start wires to generator
- Verify Battery Charger is working
- Verify Block Heater is working
- Prime fuel system
- Check up to Control Panel verify settings are at factory default settings
- Copy Configuration of panel and give to sales department
- Service meter extend days out
- Start up unit verify operation at no-load
- Verify correct voltage and current
- Check Safety
- Verify all gauges are reading correctly



- Connect and disconnect pure resistive load bank within one 75 foot run
- Load bank for 4 hours
- Perform Start-up Inspection Form and give paper work to the sales department

Automatic Transfer Switch Start up includes:

All work to be performed during regular business hours, 7:00 a.m. to 4:00 p.m. Monday – Friday.

- Visually inspect switch for damage or loose items
- Covers are installed and secured
- Manually transfer switch with no voltage
- Verify limit switches are working
- Verify all electrical connections are secure
- Power up switch
- Check voltages on normal and emergency circuit
- Calibrate voltage sensor
- Check phase rotation
- Record settings and timers
- Make sure generator is in auto and breaker closed
- Perform a power outage test on the transfer switch
- Time each phase of the switch functions and record
- Verify the times are the same as the settings
- Verify by-pass system (by-pass switches only)

Submittals and Drawings:

- Standard Submittal package includes Link to PDF file available in online storage folder
- Submittal preparation time 2-3 weeks

Payment Milestone Schedule:

- Dependent upon credit approval
- Equipment prior Order 50%
- Equipment prior Delivery 50%

Customer Delay

- To the extent that the construction schedule is significantly delayed by customer for any reason, Empire reserves the right to remedy. This remedy could be in various forms, including invoice and payment prior to shipment, progress payments, and/or the accrual of interest charges on undelivered and unpaid goods. Additionally, Empire will also pass along costs of storage and other fees that may result due to the delay.

Commodity Pricing:

- Due to current volatility of commodity pricing the above quoted price is subject to change at the time of order.
- This proposal is good for 30-days from date of issue.

This Quote Specifically Excludes:

- Any applicable Taxes
- Installation



- Diesel Fuel
- Exhaust After-treatment if additional emission reduction required due to site location
- Crane or Rigging at Job Site

Subject to the attached terms and conditions
This quote automatically expires December 3, 2022.

The undersigned acknowledge that the preceding proposal has been read in its entirety, is understood and is hereby accepted

Company Empire Power Systems

Company _____

Printed Name Steve Maddox

Printed Name _____

Signature Steve Maddox

Signature _____

Date November 3, 2022

Date _____

Purchase Order _____

TERMS & CONDITIONS

A) Customer is responsible for any and all installation of the equipment supplied by **Empire Power Systems**, unless otherwise specified in writing. All equipment needed to perform any loading or unloading of the equipment supplied by **Empire Power Systems** is the responsibility of the buyer.

B) **Empire Power Systems** limits the scope of supply for this quotation to the equipment and services listed in our bill of material. Unless specifically listed in our bill of material, equipment not indicated is assumed to be supplied by others. We have detailed the equipment proposed in the bill of material. Please check it to be certain that it meets your requirements.

C) **Empire Power Systems** reserves the right to correct any errors or omissions. Standard warranty of the manufacturer applies. Copies are available upon request.

D) Contracts which include penalty or liquidated damage clauses, waivers of subrogation, or naming a third party additionally insured are not acceptable or binding on **Empire Power Systems**, unless accepted and confirmed in writing by an officer of **Empire Power Systems** at its Phoenix division office.

E) Unless agreed to in writing, **Empire Power Systems** will not accept purchase orders which
 > Require Empire Power Systems to pay any and all legal expenses for the purchaser in the event of a dispute
 > Require that Empire Power Systems be responsible for design work and/or guarantee that a performance standard for a system be met
 > Require completion and acceptance of the project by the owner before payment

F) There will be a **25%** order cancellation fee for any orders cancelled, once placed and accepted by **Empire Power Systems**.



G) Empire Power Systems' standard and extended terms and conditions are included in this quotation and hereby become part of this quotation. These same terms need to be noted on any purchase order received by **Empire Power Systems** in order to process your order.

H) Empire Power Systems will not be responsible for any labor or material charges by others associated with the start-up and installation of this equipment unless previously agreed upon, in writing by **Empire Power Systems**.

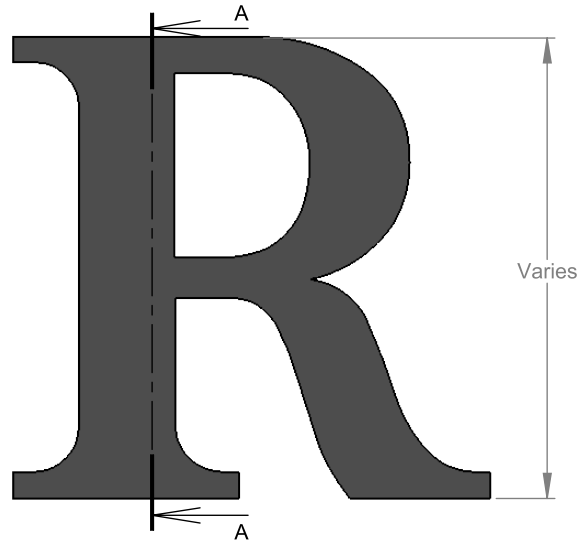
I) Empire Power Systems is a supplier of materials and related services and not a contractor. Retention is not acceptable.

J) Credit is subject to **Empire Power Systems**, approval at its sole discretion. This quote in no way constitutes approval of credit.

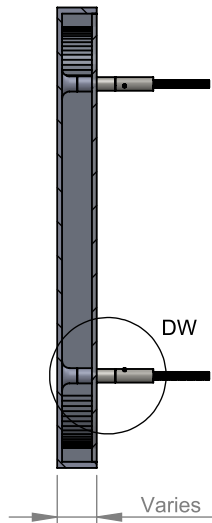
K) Sales payments are due Net 10 all others Net 30. Unless otherwise agreed in writing by a corporate officer of Empire Southwest, LLC ("Empire"), the purchase of goods (including, but not limited to, new and used equipment, attachments, parts and technology) or services from Empire will be governed solely by Empire's Terms and Conditions of Sales and Service (the "Terms"), which are available at www.empire-cat.com/termsandconditions or our other successor website at which Empire posts its Terms from time to time. A hard copy of the Terms is available upon written request to terms.conditions@empire-cat.com. Empire's Terms are hereby incorporated by reference into this document and all other documents related to your purchase of goods or services from Empire. By purchasing goods or services from Empire, you agree to be bound by Empire's Terms.

Terms and conditions of this quotation govern over any conflict between this document and customer's purchase order or other document.

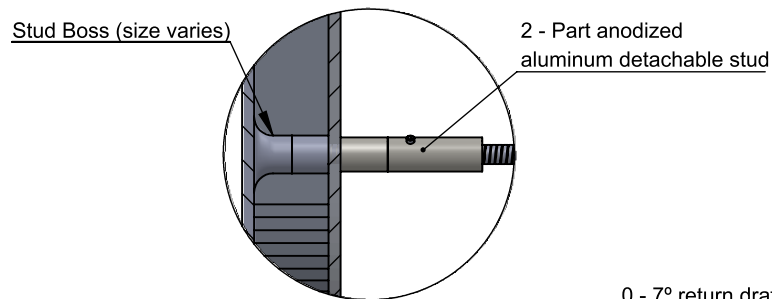
PRODUCT CONSTRUCTION EXAMPLE



FRONT VIEW II SCALE 1:5



SECTION A-A II SCALE 1:5

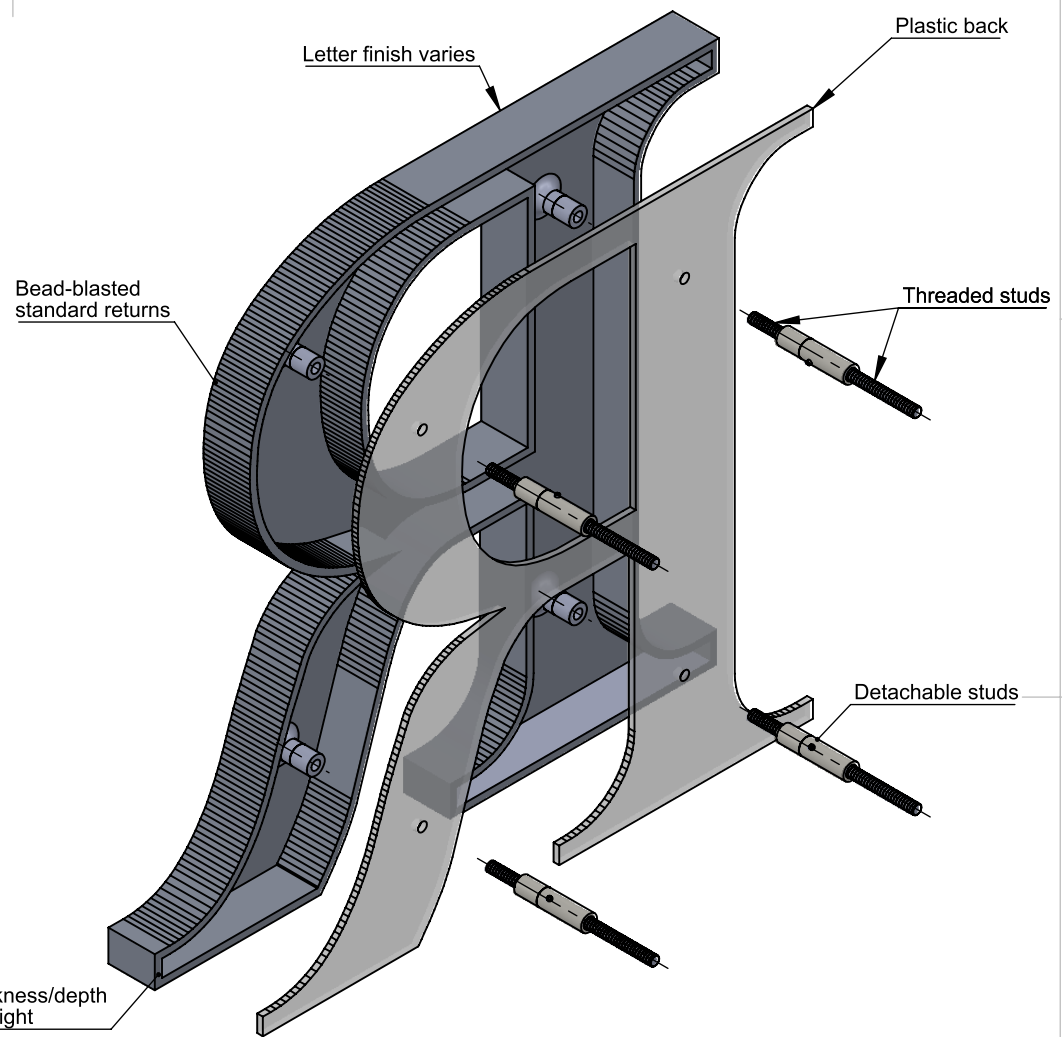


DETAIL DW II SCALE 1 : 2

| SIZE | MIN STUDS/LTR |
|---------------|---------------|
| Up to 3" | 3 studs |
| over 3" - 15" | 4 studs |
| Over 15" | 6 studs |
| Punctuation | 2 studs |

NOTES:

- Typical stud length 2" beyond back of letter
- Letters under 15" high - 10/24 studs, 15"+ high - 1/4-20 studs.
- Letters 6" - 36" high
- Clear or light diffused plastic backs - designed for halo lighting with LED's
- Minimum 1-1/2" stroke, 1" deep
- Detachable studs supplied with set screw & tool for tightening
- Standard catalog styles or customer per vector art. Flat faced/round/prismatic profile options. Typical 3/16" - 1/4" wall thickness on hollow back letters/logos.
- Letters or logos, standard or custom



BACK ISOMETRIC VIEW II SCALE 1:3

TITLE: **CAST METAL WITH BACK - DETACHABLE STUD MOUNT**

MATERIAL: **ALUMINUM OR BRONZE**

PRODUCT TYPE: **CAST METAL**

Custom Cast Aluminum - Halo Lit Flat Face Letters

INCLUDES STANDARD MOUNTING, PATTERN & LED PACKAGE



Aluminum Options



Brushed



Painted

LED Options



White



Warm White



Red



Green



Blue